



A41CONNECT

Unit A info pack

PITSTONE BUSINESS PARK, WESTFIELD ROAD



© 2022 webb gray

NOTE:
THIS DRAWING IS © COPYRIGHT OF WEBB GRAY LTD AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION.
ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING DETAILED TOPOGRAPHICAL SURVEY AND GROUND INVESTIGATION WORK.
IT HAS BEEN ASSUMED THAT OTHER THAN WHERE SHOWN THE SITE IS ESSENTIALLY FLAT WITH NO EASEMENTS TO ABOVE OR BELOW GROUND SERVICES.
ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING LIAISONS WITH RELEVANT LOCAL AUTHORITIES.
PRELIMINARY INDICATIVE DRAWINGS MAY BE BASED UPON INFORMATION FROM VARIOUS SOURCES, THE ACCURACY OF WHICH CANNOT BE GUARANTEED.
WHERE BOUNDARIES ARE SHOWN THERE ARE AS ADVISED BY THE CLIENT AND ARE FOR GENERAL GUIDANCE ONLY. WHILE PLOTTED WITH REFERENCE TO LAND REGISTRY DATA, WHERE AVAILABLE AND INTERPOLATED AS PHYSICAL FEATURES ON SITE WHERE POSSIBLE, THEY ARE NOT INTENDED TO REPRESENT DEFINITIVE SITE EXTENTS OR LEGAL OWNERSHIP.
ALL DIMENSIONS AND SETTING OUT COORDINATES TO BE CHECKED ON THE PROJECT SITE BEFORE WORK IS COMMENCED OR MAKING ANY SHOP DRAWINGS.
IF THIS DRAWING HAS BEEN RECEIVED ELECTRONICALLY IT IS THE RECIPIENTS RESPONSIBILITY TO PRINT THE DOCUMENT TO THE CORRECT SCALE.
ALL DIMENSIONS ARE IN METRES UNLESS STATED OTHERWISE IT IS RECOMMENDED THAT INFORMATION IS NOT SCALED OFF THIS DRAWING.
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

Drawing based on PM Surveys UK
Drawing number PMS21130

SCHEDULE OF MATERIALS
EXTERNAL WORKS

- MACADAM SURFACING
- THERMOPLASTIC PAINT LINING ETC.
- COLOUR - BLACK/GREY SELF COLOUR
WITH LINING TO CONVENTION
- CONCRETE BLOCK PAVING
- LAID IN HERRINGBONE PATTERN
- COLOUR - LIGHT GREY
- CONCRETE SURFACING
- COLOUR - LIGHT GREY SELF COLOUR
- FENCING 2.4M HIGH
- STRUCTURED LANDSCAPING
- (PLEASE REFER TO SEPARATE
DRAWING BY LANDSCAPER)
- CONCRETE BLOCK PAVING LAID IN
- HERRINGBONE PATTERN
- COLOUR BRINDLE

G	Unit C-D amended to suit single occupier requirements sub locations moved EV's numbers increased	01-07-24	DLD	LA
F	Docks added to Unit B refuse to C-D moved	09-05-24	DLD	LA
E	Docks added to Unit A	25-04-24	DLD	LA
D	Adjusted to client comments	10-04-24	DLD	LA
C	Adjusted to client comments	09-04-24	DLD	LA
B	Amended to incorporate comments from project team	03-04-24	DLD	LA
A	Amended to incorporate comments from project team -landscaping added	25-03-24	DLD	LA

Revision	Description	Date	Drafted	Checked
Client:				

ashforddevelopments

Project:

Westfield Road
PITSTONE

Drawing Title:
SITE LAYOUT PLAN

webbgray

Webb Gray Ltd
Chartered Architects
25-27 Ludlow Lane
Birmingham B3 2JF
0121 616 6030
en:architects@webbgray.co.uk
en:www.webbgray.co.uk

Scale 1:500

Date: Nov 23

Drafted: DLD

Checked: LA

Job No: 8860

Origin: WGA

Vol:

Level:

Type:

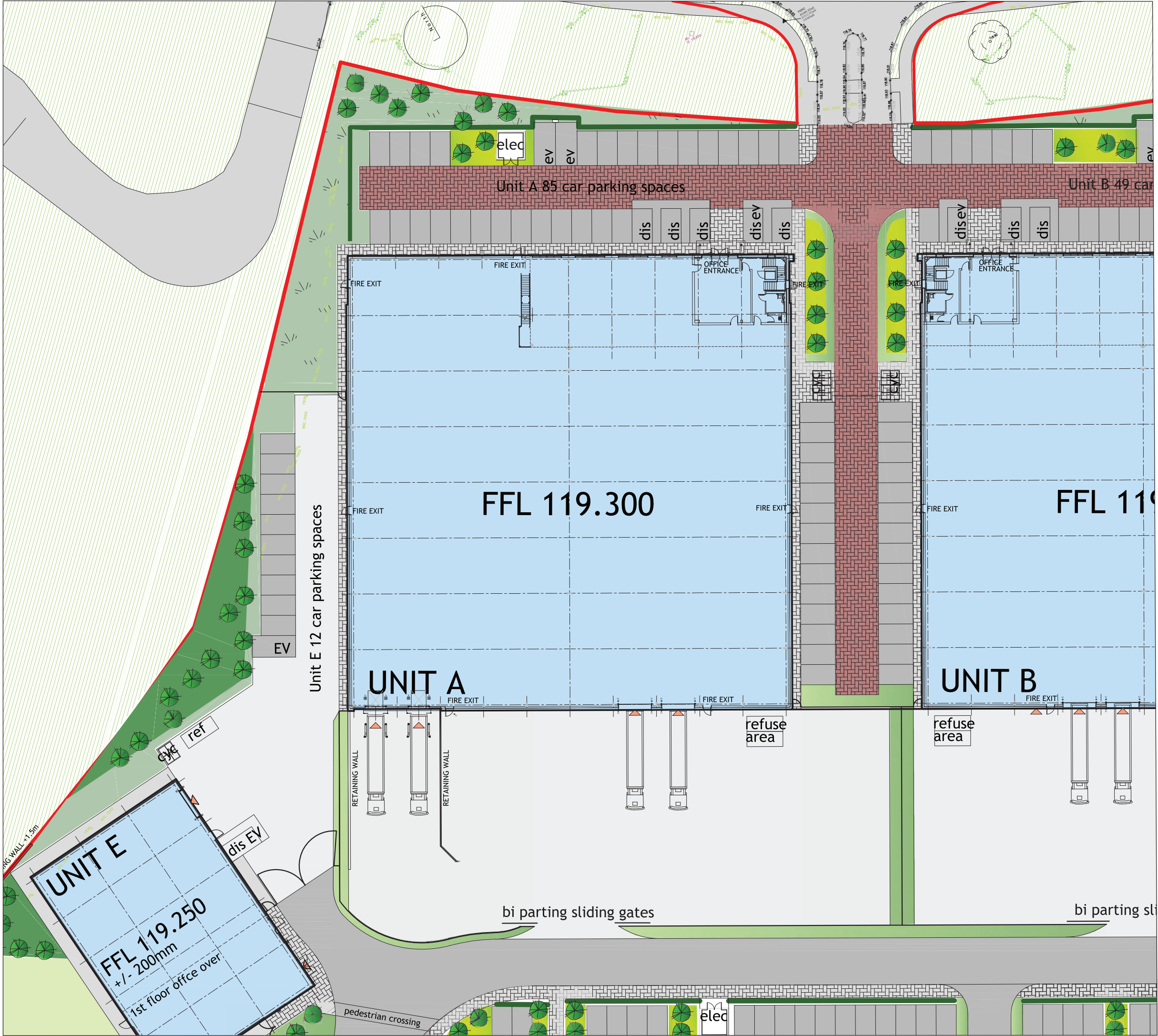
Rule: A

No: P03

Status: P

Revision: G

PLANNING



© 2024 **webbgray**

NOTE:
THIS DRAWING IS © COPYRIGHT OF WEBB GRAY LTD AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING DETAILED TOPOGRAPHICAL SURVEY AND GROUND INVESTIGATION WORK.

IT HAS BEEN ASSUMED THAT OTHER THAN WHERE SHOWN THE SITE IS ESSENTIALLY FLAT WITH NO EASEMENTS TO ABOVE OR BELOW GROUND SERVICES.

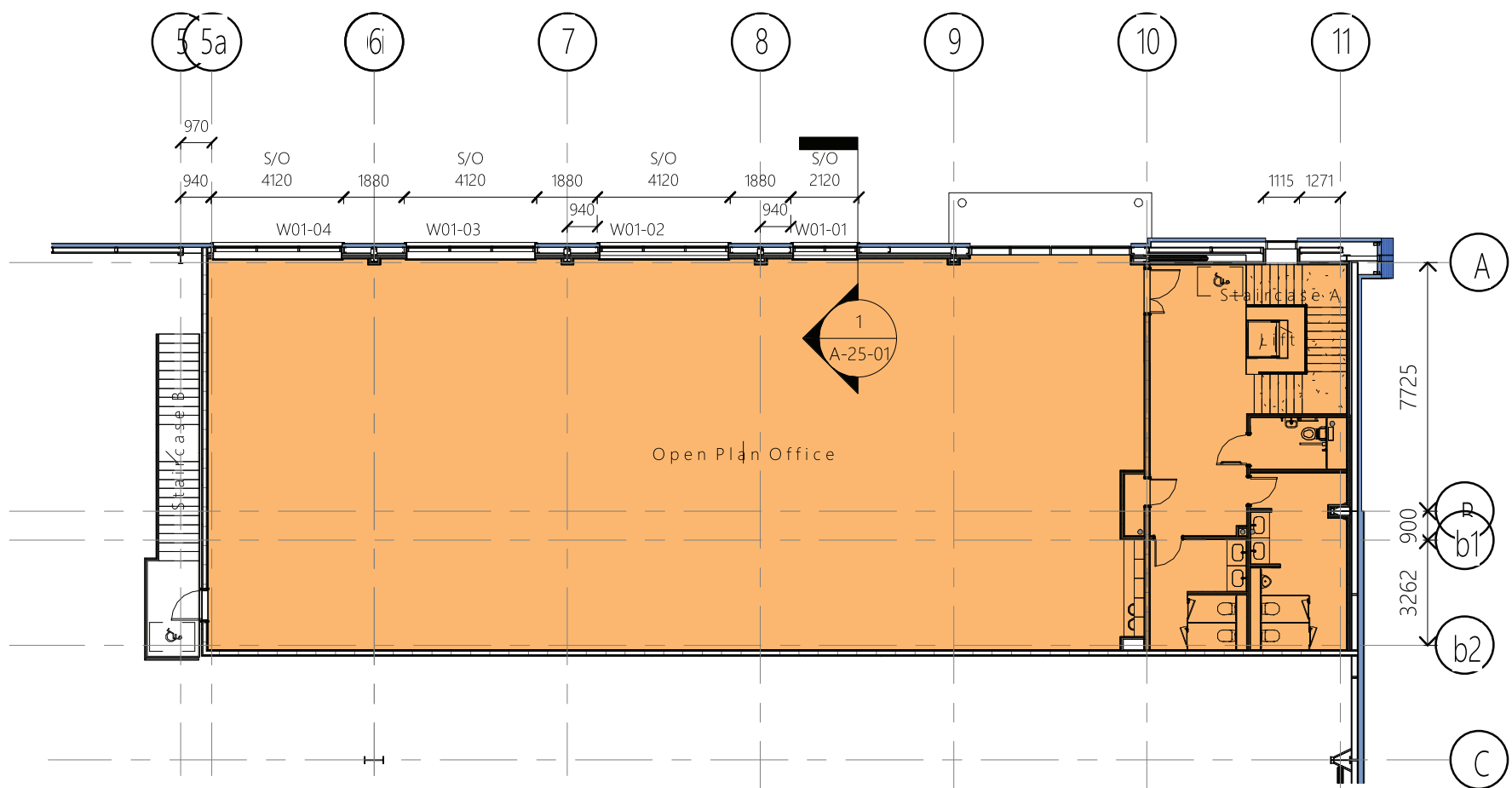
ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING LIAISONS WITH RELEVANT LOCAL AUTHORITIES.

PRELIMINARY INDICATIVE DRAWINGS MAY BE BASED UPON INFORMATION FROM VARIOUS SOURCES, THE ACCURACY OF WHICH CANNOT BE GUARANTEED.

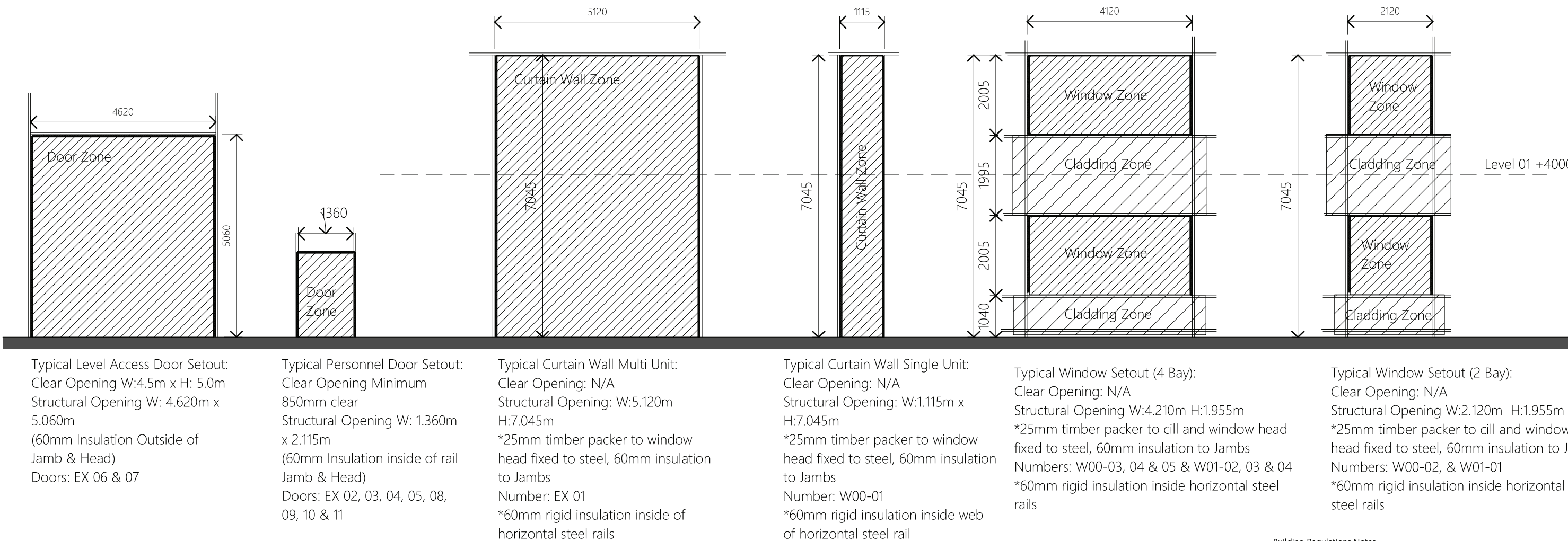
WHERE BOUNDARIES ARE SHOWN THESE ARE AS ADVISED BY THE CLIENT AND ARE FOR GENERAL GUIDANCE ONLY. WHILST PLOTTED WITH REFERENCE TO LAND REGISTRY DATA WHERE AVAILABLE AND INTERPOLATED AS PHYSICAL FEATURES ON SITE WHERE POSSIBLE, THEY ARE NOT INTENDED TO REPRESENT DEFINITIVE SITE EXTENTS OR LEGAL OWNERSHIP.

ALL DIMENSIONS AND SETTING OUT COORDINATES TO BE CHECKED ON THE PROJECT SITE BEFORE WORK IS COMMENCED OR MAKING ANY SHOP DRAWINGS.

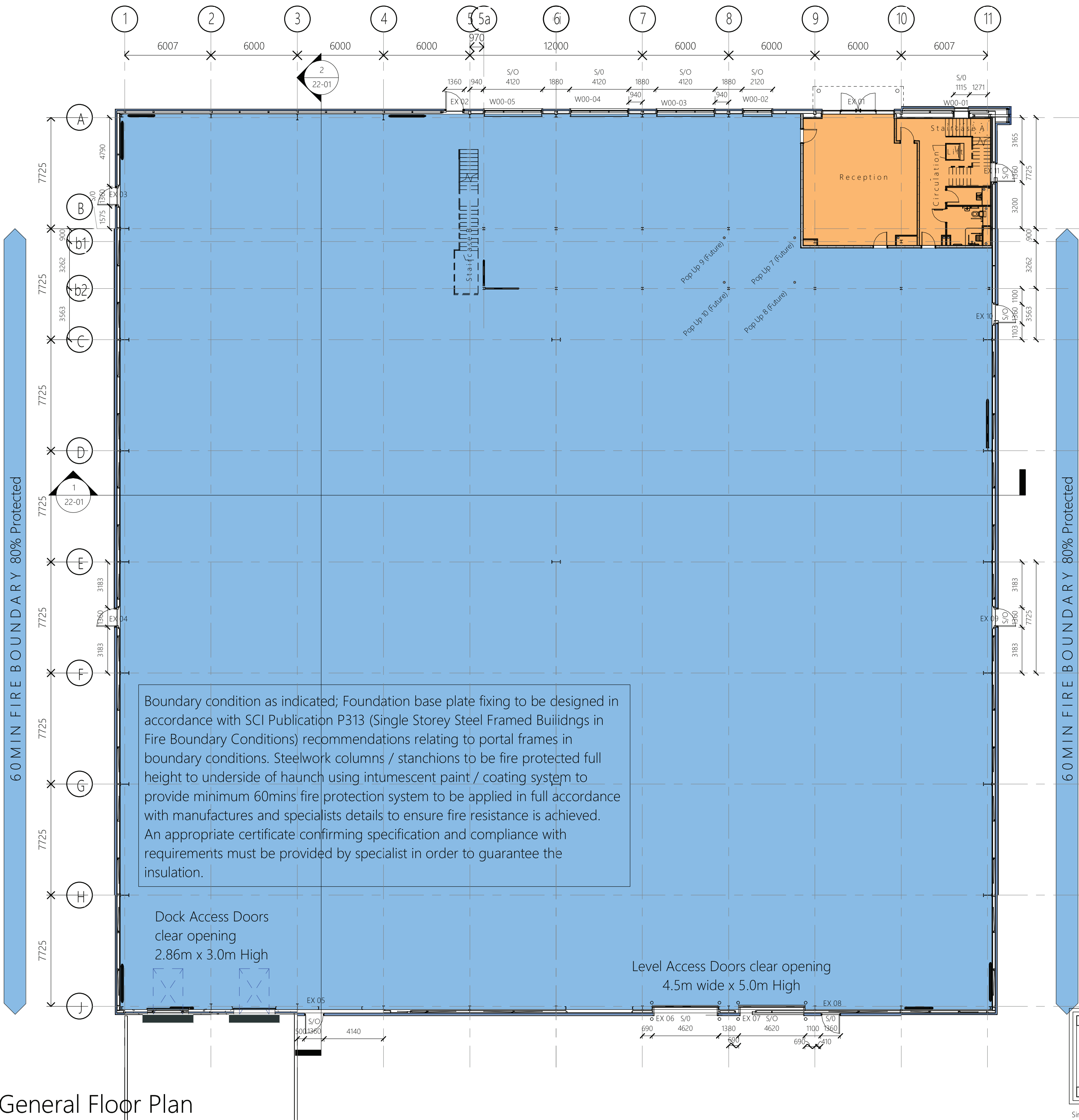
IF THIS DRAWING HAS BEEN RECEIVED ELECTRONICALLY IT IS THE RECIPIENTS RESPONSIBILITY TO PRINT THE DOCUMENT TO THE CORRECT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE IT IS RECOMMENDED THAT INFORMATION IS NOT SCALED OFF THIS DRAWING. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.



First Floor Plan
1: 200



Rail Setting Out & Insulation Parameters
1: 100



General Floor Plan
1: 200

Building Regulation Notes (Sanitation, hotwater safety and water efficiency: Approved Document G)

Toilet Provision Notes

The design of sanitary facilities in the workplace should be in accordance with Clause 5 and the following recommendations.

a) Minimum provision of sanitary appliances should be in accordance with Table 3 or Table 4 of Clause 6 within **BS6445:2006 Part 1** Sanitary installations.

Toilet Provision Calculation

Toilet provision is based on **BS6445:2006 Part 1** Sanitary installations and BCO guidance using an occupancy density of 1 per 10 sqm of the overall net floor area and a male/female split of 60%/40%. (i.e. 20% excess provision against calculated occupancy)

The below calculation is indicative only to provide numbers for drainage under CAT A. Full calculation is to be done by CAT B designers.

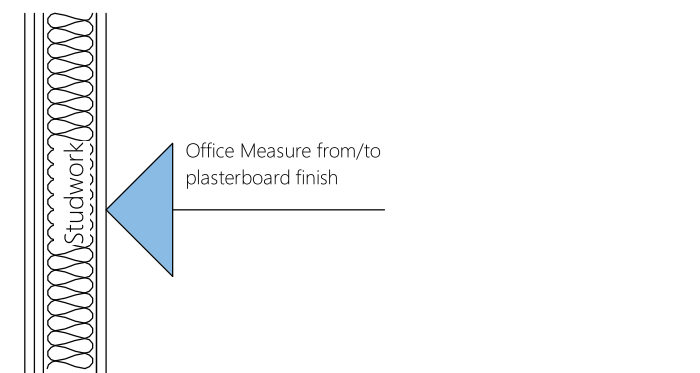
CAT A Assumption NIA: 353m²
Occupancy Rate = 1 per 10m² = 35 Persons
Split 60:40 equates to 21 Male (actual 17) and 21 Female (actual 17)
small office so there Disabled Toilet included*

22 Female Total = 3WC's and 3WB's

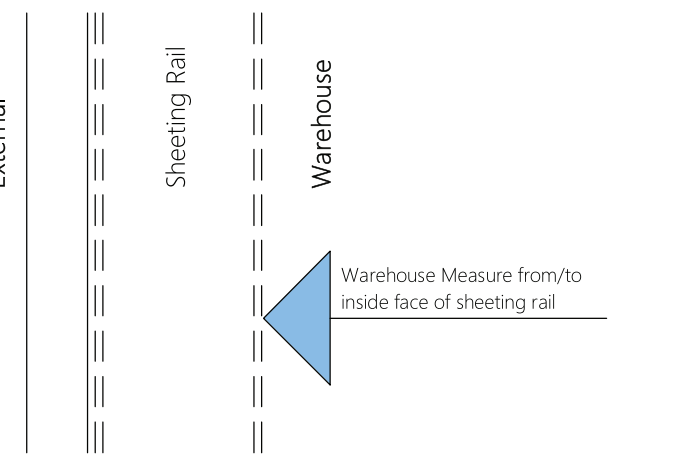
22 Male Total = 2WC's and 2WB's 1 Urinal

Split Per Floor=	Female	Male
	2WC's	2WC's
	2WB's	2WB's
	1 Dis	1 U

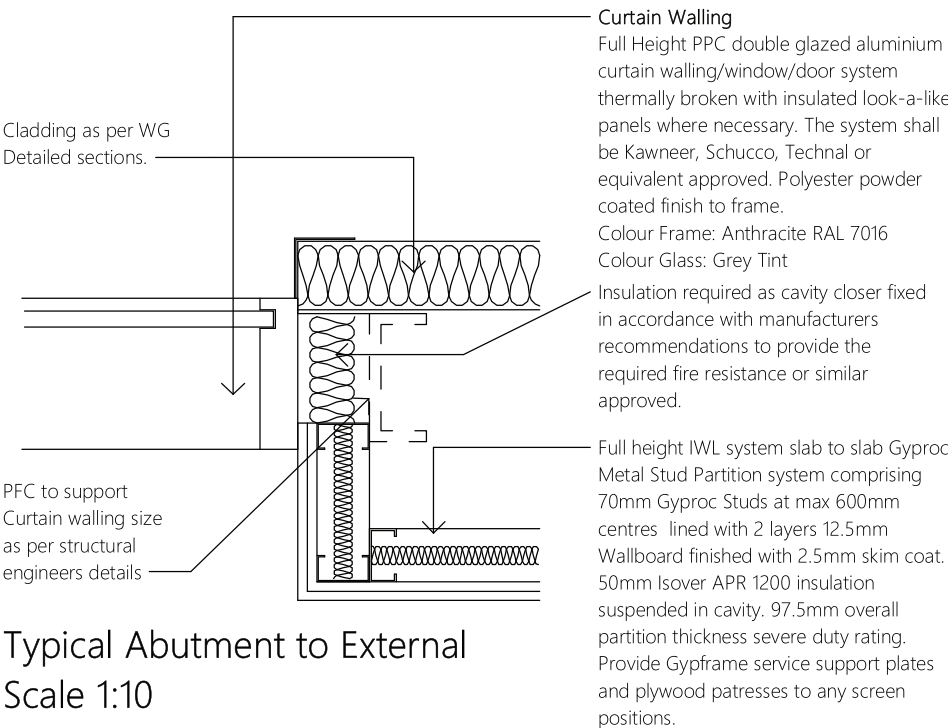
*WC = Water Closet
*WB = Wash Basin
*U = Urinal
*Dis = Disabled Toilet
*M=Male
*F=Female



Office Measurement Detail 2
Scale 1:10



Warehouse Measurement Detail 1
Scale 1:10



Typical Column Incasement
Scale 1:10

Typical Abutment to External
Scale 1:10

NOTE:
THIS DRAWING IS © COPYRIGHT OF WEBB GRAY LTD AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING DETAILED TOPOGRAPHICAL SURVEY AND GROUND INVESTIGATION WORK.

IT HAS BEEN ASSUMED THAT OTHER THAN WHERE SHOWN THE SITE IS ESSENTIALLY FLAT WITH NO EASEMENTS TO ABOVE OR BELOW GROUND SURFACES.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING LIAISONS WITH RELEVANT LOCAL AUTHORITIES.

PRELIMINARY INDICATIVE DRAWINGS MAY BE BASED UPON INFORMATION FROM VARIOUS SOURCES, THE ACCURACY OF WHICH CANNOT BE GUARANTEED.

WHERE BOUNDARIES ARE SHOWN THESE ARE AS ADVISED BY THE CLIENT AND ARE FOR GENERAL GUIDANCE ONLY. WHILST PLOTTED WITH REFERENCE TO LAND REGISTRY DATA WHERE AVAILABLE AND INTERPOLATED AS PHYSICAL FEATURES ON SITE WHERE POSSIBLE, THEY ARE NOT INTENDED TO REPRESENT DEFINITIVE SITE EXTENTS OR LEGAL OWNERSHIP.

ALL DIMENSIONS AND SETTING OUT COORDINATES TO BE CHECKED ON THE PROJECT SITE BEFORE WORK IS COMMENCED OR MAKING ANY SHOP DRAWINGS.

IF THIS DRAWING HAS BEEN RECEIVED ELECTRONICALLY IT IS THE RECIPIENTS RESPONSIBILITY TO PRINT THE DOCUMENT TO THE CORRECT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. IT IS RECOMMENDED THAT INFORMATION IS NOT SCALED OFF THIS DRAWING. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

Fabric Parameters:

Wall	= 0.26W/m ² K
Floor	= 0.18 W/m ² K
Roof	= 0.18 W/m ² K
Roof Light / Glazing (including Frame)	= 2.00 W/m ² K (G Value = 0.55, Lighting Transmittance = 68% and Shading Coefficient 0.40)
Air Permeability	= 4m ³ / (h.m ²) @ 50 Pa

Building Regulations Notes

All works to be carried out in accordance with the current Building Regulations, British Standards and Codes of Practice and to the satisfaction of the Building Inspector.

These notes apply to Architectural works Please see Building Regulation General and Fire Tracker for further Detail on considerations.*

Considered Not Applicable

Structure: Approved Document A

Please refer to Structural / Civils Engineers Details

Fire Safety: Approved Document B

Applied Guidance
(In assessing the suitability of the fire safety arrangements for the building reference has been made to BS9999 and Approved Document B.

See further details on Fire Strategy Drawings

Site preparation and resistance to contaminants and moisture: Approved Document C

Please refer to Structural / Civils Engineers Details

Toxic Substances: Approved Document D

Not Applicable

Resistance to Sound: Approved Document E

Not Applicable

Ventilation: Approved Document F

Please refer to Mechanical and Electrical Engineers Details

Sanitation, hotwater safety and water efficiency: Approved Document G

The design of sanitary facilities in the workplace should be in accordance with Clause 5 within **BS6445:2006 Part 1** and the following recommendations

a) Minimum provision of sanitary appliances should be in accordance with Table 3 or Table 4 of Clause 6 within **BS6445:2006 Part 1** Sanitary installations.

Toilet provision is based on **BS6445:2006 Part 1** Sanitary installations and BCO guidance using an occupancy density of 1 per 10 sqm of the overall net floor area and a male/female split of 60%/40%. (i.e. 20% excess provision against calculated occupancy)

See further details on Toilet details & Mechanical and Electrical Engineers Details

Drainage and Waste Disposal: Approved Document H

Please refer to Structural / Civils Engineers Details.

Combustion appliances and fuel storage systems: Approved Document J

Please refer to Mechanical and Electrical Engineers Details.

Protection from falling, collision and impact: Approved Document K

Handrail design to be in accordance with **Approved Document K Diagram 1.13**

Headroom for stairs: Access between levels to comply with **Approved Document K Diagram 1.3**

Stair widths: Minimum dimension between enclosing walls, strings or upstands of 1000mm. A minimum width between handrails of 1000mm. If the flight is more than 2m wide, divide it into flights a minimum of 1000mm wide, as shown in Diagram 1.5.

Length of flights of Stairs: General access stairs - 12 risers between landings.

See further details on Detailed Sections & Staircase Drawings

Conservation of fuel and power: Approved Document L

Please refer to Mechanical and Electrical Engineers Details.

Access to and use of buildings: Approved Document M

- An Access Statement is to be produced identifying the approach to inclusive design at the end of the project for the O&M.
- Level access required to main entrance doors.
- Front entrance doors to be powered automatic opening doors or operable with maximum force of 30 N from 10° the door in the closed position to 30° and not more than 22.5 N from 30° to 60° of the opening cycle.
- Barrier / clearing mat to be provided internally with suitable friction resistance.
- Light switches to be at 1000mm height.
- Sockets to be above 400mm.
- Walls and floors to have colour contrast.
- If the doors are not automatic, a suitable canopy should be provided to the main entrance doors.
- All internal doors should be at least 800mm clear when the approach is head on and be provided with suitable vision panels at both low and high level.
- All doors on circulation routes should also be provided with a zone of visibility. In accordance with **Approved Document M 3.10 h**.
- All internal doors should have suitable contrasting furniture.
- All internal doors should be operable with a maximum force of 20N.
- The main entrance doors should be at least 800mm individually (each leaf) if not automatic.
- Lift to have an unobstructed 500mm x 500mm manoeuvring space in front of the doors.

Overheating: Approved Document O

Not Applicable

Electrical Safety: Approved Document P

Not Applicable

Security in Dwellings: Approved Document Q

Not Applicable

Infrastructure for electronic communications: Approved Document R

Please refer to Mechanical and Electrical Engineers Details.

Infrastructure for charging electric vehicles: Approved Document S

Please refer to Electrical Engineers Details.

Materials and Workmanship: Approved Document T

Regulation 7 specifies that all work shall be carried out with adequate and proper materials which are:

- Appropriate for the circumstances in which they are used.
- Are adequately tested or prepared, and
- Are applied, used or fixed so as adequately to perform the functions for which they are designed and (b) in a workmanlike manner.

Regulation 7 aligns with The Construction Products (Amendment) Regulations 1994, which requires that construction products that are covered by a European product standard or conform to a European Technical Assessment with a CE marking. The products and materials specified and used within the development should all be provided in accordance with Regulation 7.

01 Initial issue DLD Aug 24

Revision: Description: By: Date:

Client:



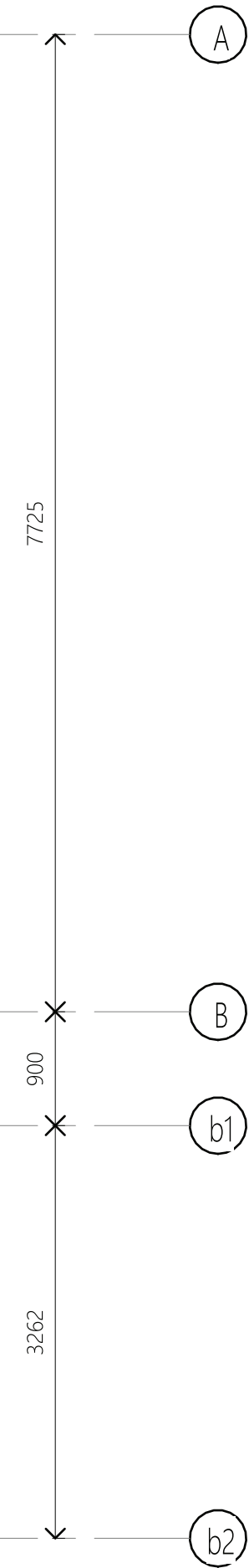
Project:

Pitstone, Buckinghamshire

Drawing Title:

General Layout Plan

Scale @ A1:									
As indicated									
Job No:	Origin:	Vol:	Level:	Type:	Role:	No:	Status:	Revision:	
13251	WGA	UA	ZZ	DR	A	20-01	C	01	



Architectural floor plan of the first floor, showing various rooms and dimensions. The plan includes a large Reception area, a central Circulation area with a staircase and lift, and several smaller rooms including a Cleaners room, a Dis/Store room, and three Pop Up rooms (Pop Up 01, Pop Up 02, Pop Up 03). The plan includes numerous dimensions for room sizes and overall building dimensions. Key features include EX-01 (Exit 01) at the top left, EX-02 (Exit 02) at the top right, and EX-03 (Exit 03) at the bottom right. The plan is oriented with North at the top.

Rooms and Dimensions:

- Reception: 5520 x 7940
- Circulation: 1832 x 327
- Cleaners: 2478 x 2478
- Dis/Store: 2478 x 2478
- Pop Up 01: 2478 x 2478
- Pop Up 02: 2478 x 2478
- Pop Up 03: 2478 x 2478
- Pop Up 04: 2478 x 2478
- Pop Up 05: 2478 x 2478
- Pop Up 06: 2478 x 2478

Overall Dimensions:

- Overall Width: 6000
- Overall Depth: 7725

Typical Column Encasement
Scale 1:10

2x12.5mm Plyboard boards to column. Tap & Jorred

Note: Column casing boxes to sit directly onto raised access floor panels / Concrete on insulation (Please refer to floor finishes & Raised access floor drawings)

Note: Column encasements to have skirting detail as per the detail on Door schedule.

Snail approved column encasement system with GTEC channels and angles.

Warehouse Measurement Detail 1
Scale 1:10

Warehouse Measure from inside face of sheeting rail

Typical Abutment to External
Scale 1:10

Cladding as per WS Detailed sections

Full Height PVC double glazed aluminum curtain walling/window/door system thermally broken with insulated look-a-like panels where necessary. The system shall be however, Structural, Technical or equivalent approved. Polyester powder coated finish to frame.

Colour: Frame: Anthracite RA, 7016
Colour: Glass: Grey Tint

Insulation required in cavity closer fixed in accordance with manufacturers recommendations to provide the required fire resistance or similar approved.

Full height WL system slab to slab. Gypoc Metal Stud Partition system comprising 70mm Gypoc Stud at max 600mm centres, lined with 2 layers 12.5mm Wallboard finished with 0.5mm skim coat. 50mm type APL 1200 insulation suspended in cavity. 97.5mm overall partition thickness serves duty rating. Provide Gophane service support plates and plywood patterns to any screen positions.

Office Measurement Detail 2
Scale 1:10

Office Measure from to plasterboard finish

Level 01 +400

Typical Access Door Setup:
Clear Opening W:4.5m x H: 5.0m
Structural Opening W: 4.620m x 5.060m
(60mm Insulation Outside of Jamb & Head)
Doors: EX 06 & 07

Typical Personnel Door Setup:
Clear Opening Minimum 850mm clear
Structural Opening W: 1360m x 2.115m
(60mm Insulation inside of rail Jamb & Head)
Doors: EX 02, 03, 04, 05, 08, 09, 10 & 11

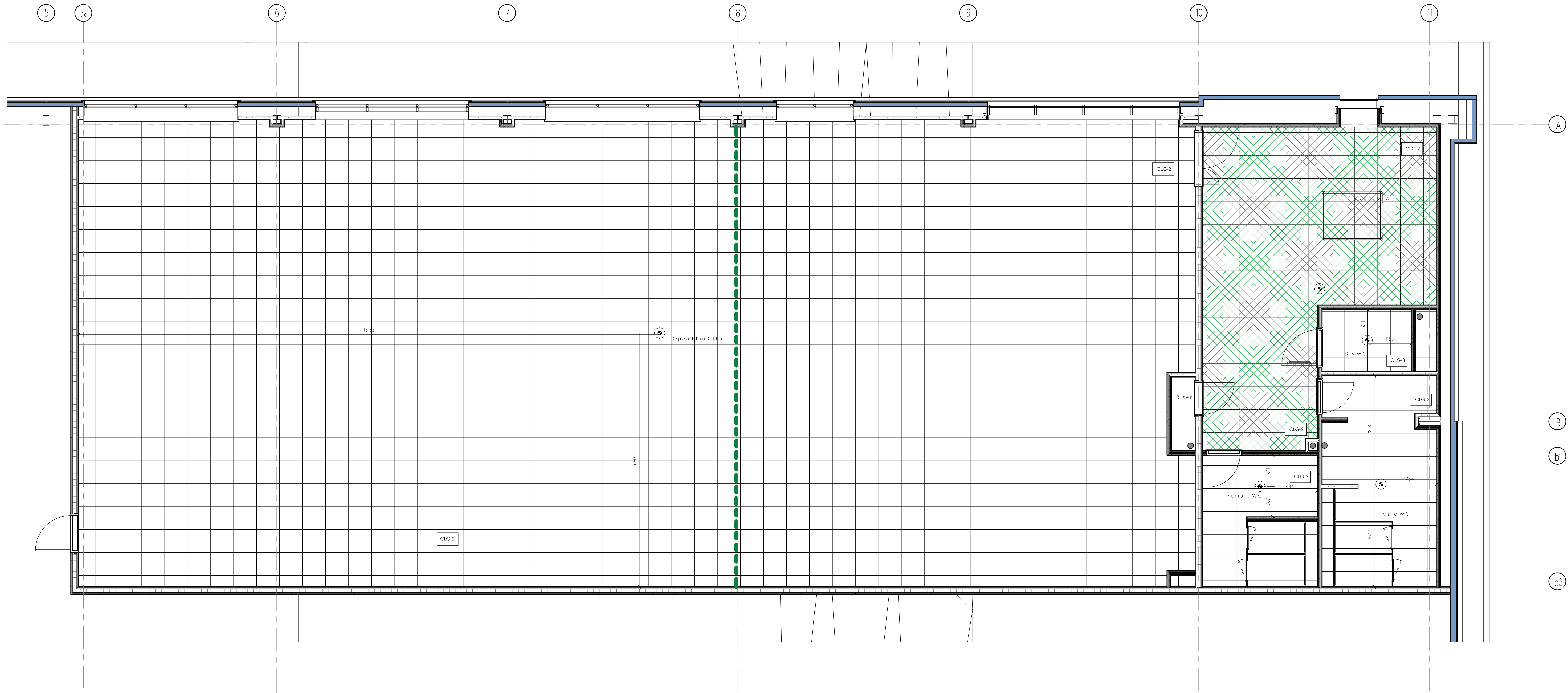
Typical Curtain Wall Multi Unit:
Clear Opening: N/A
Structural Opening W: 5.120m x H: 7.045m
*25mm timber packer to window head fixed to steel, 60mm insulation to Jamb
Number: EX 01
*60mm rigid insulation inside of horizontal steel rails

Typical Curtain Wall Single Unit:
Clear Opening: N/A
Structural Opening: W:1.115m x H: 7.045m
*25mm timber packer to window head fixed to steel, 60mm insulation to Jamb
Number: W00-01
*60mm rigid insulation inside web of horizontal steel rail

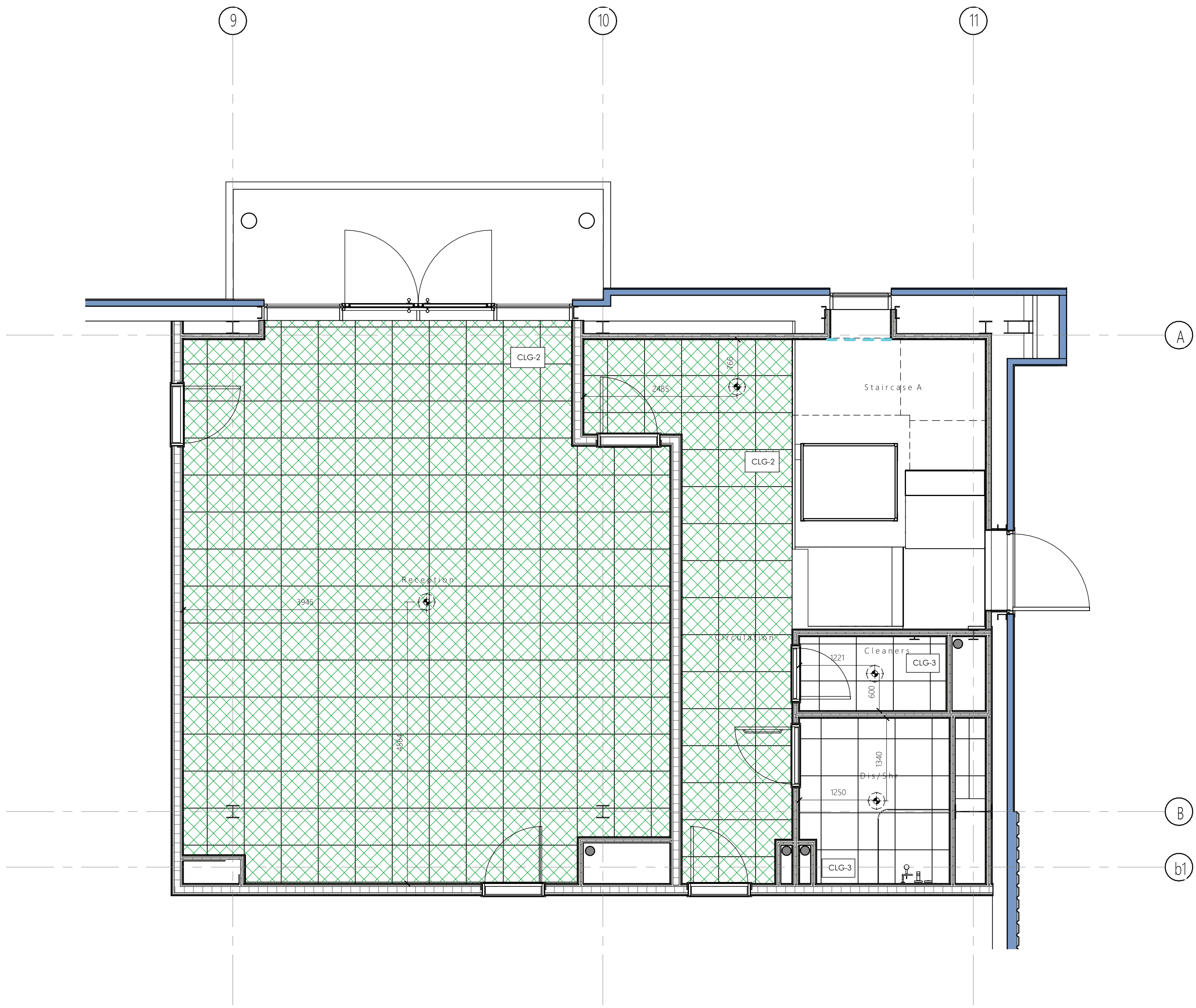
Typical Window Setup (4 Bay):
Clear Opening: N/A
Structural Opening W:4.210m H:1.955m
*25mm timber packer to cill and window head fixed to steel, 60mm insulation to Jamb
Numbers: W00-03, 04 & 05 & W01-02, 03 & 04
*60mm rigid insulation inside horizontal steel rails

Typical Window Setup (2 Bay):
Clear Opening: N/A
Structural Opening W:2.120m H:1.955m
*25mm timber packer to cill and window head fixed to steel, 60mm insulation to Jamb
Numbers: W00-02 & W01-01
*60mm rigid insulation inside horizontal steel rails

1 : 100



First Floor Office
1:50



Ground Floor Core
1:50

© 2024 webbgray
NOTE:
THIS DRAWING IS A COPYRIGHT OF WEBB GRAY LTD AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION.
ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING DETAILED TOPOGRAPHICAL SURVEY AND GROUND INVESTIGATION WORK.
IT HAS BEEN ASSUMED THAT OTHER THAN WHERE SHOWN THE SITE IS ESSENTIALLY FLAT WITH NO EASEMENTS TO ABOVE OR BELOW GROUND SERVICES.
ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING LIAISONS WITH RELEVANT LOCAL AUTHORITIES.
PRELIMINARY INDICATIVE DRAWINGS MAY BE BASED UPON INFORMATION FROM VARIOUS SOURCES, THE ACCURACY OF WHICH CANNOT BE GUARANTEED.
WHERE BOUNDARIES ARE SHOWN THESE ARE AS ADVISED BY THE CLIENT AND ARE FOR GENERAL GUIDANCE ONLY. WHILE PLOTTED WITH REFERENCE TO LAND REGISTRY DATA WHERE AVAILABLE AND INTERPOLATED AS PHYSICAL FEATURES ON SITE WHERE POSSIBLE, THEY ARE NOT INTENDED TO REPRESENT DEFINITIVE SITE EXTENTS OR LEGAL OWNERSHIP.
ALL DIMENSIONS AND SETTING OUT COORDINATES TO BE CHECKED ON THE PROJECT SITE BEFORE WORK IS COMMENCED OR MAKING ANY SHOP DRAWINGS.
IF THIS DRAWING HAS BEEN RECEIVED ELECTRONICALLY IT IS THE RECIPIENT'S RESPONSIBILITY TO PRINT THE DOCUMENT TO THE CORRECT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. IT IS RECOMMENDED THAT INFORMATION IS NOT SCALED OFF THIS DRAWING. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

- Ceiling Types**
- Plasterboard Ceilings:
- Gyproc Saint Gobain (or equal approved) MF ceiling system finished with 3 coats emulsion. MR to showers, toilets and cleaners.
 - Ceiling Heights:
 - General Circulation 2.7m
 - Toilets 2.4m
- To meet the following standards:
- BS 476 Part 23 1987 Fire tests on building materials and structures.
- Suspended Ceilings:
- CLG-1 Zentis Anuba (or equal approved) (600x600mm) ceiling tiles - Prelude 15 exposed grid system
- Ceiling Heights:
- Office & General Circulation 2.7m
- To meet the following standards:
- BS-EN 13501-1 class B-s3,d2 to all spaces in line with AD B Table 6.1 Classification of linings
- *Anuba actually achieves: Euroclass A2-s1, d0*
- CLG-2 Zentis Monoblock Hydraulic (or equal approved) (600x600mm) ceiling tiles - Prelude 15 exposed grid system
- Ceiling Heights:
- Toilets 2.4m
- To meet the following standards:
- BS-EN 13501-1 class B-s3,d2 to all spaces in line with AD B Table 6.1 Classification of linings
- *Hydrolite actually achieves: A1*
- General Notes**
- Tiles to be clipped in areas where ceiling tiles may uplift due to an vacuum
- Cavity / Fire Barriers**
- Ceilings**
- Rockwood FirePro fire barrier system (or equal approved) to provide Cavity barrier (30mins FR) within ceiling voids (between ceiling grid & underside of floor slab) to be installed to manufacturers details. Maximum centres 200mm but sized to suit M&E design. Suitable fire dampers and fire stopping to be fitted to any ductwork or services passing through cavity barrier or fire rated wall to be installed to manufacturers details. Please refer to Rockwood FirePro documentation for more information on suitable fire stopping.
- Floors**
- Rockwood FirePro fire barrier system (or equal approved) to provide Cavity barrier (30mins FR) within ceiling voids (between Raised access floor & floor slab) to be installed to manufacturers details & raised access floor system manufacturers recommendations. Maximum centres 200mm but sized to suit M&E design. Suitable fire dampers and fire stopping to be fitted to any ductwork or services passing through cavity barrier or fire rated wall to be installed to manufacturers details. Please refer to Rockwood FirePro documentation for more information on suitable fire stopping.
- Cavity barriers to meet the following standards:
- BS 476 Part 22 Fire Test
 - Fire classification of A1 as defined in BS EN 13501-1
 - LPCB (Loss prevention council certification board)
- Fire stopping to meet the following standards:
- BS EN 1366-3 Fire resistance test for service installations: Penetration Seals
 - BS EN 1363-3 Fire resistance test, General Requirements

01 Initial Issue DLD Sept 24
Revision: Description: By: Date:
Client:

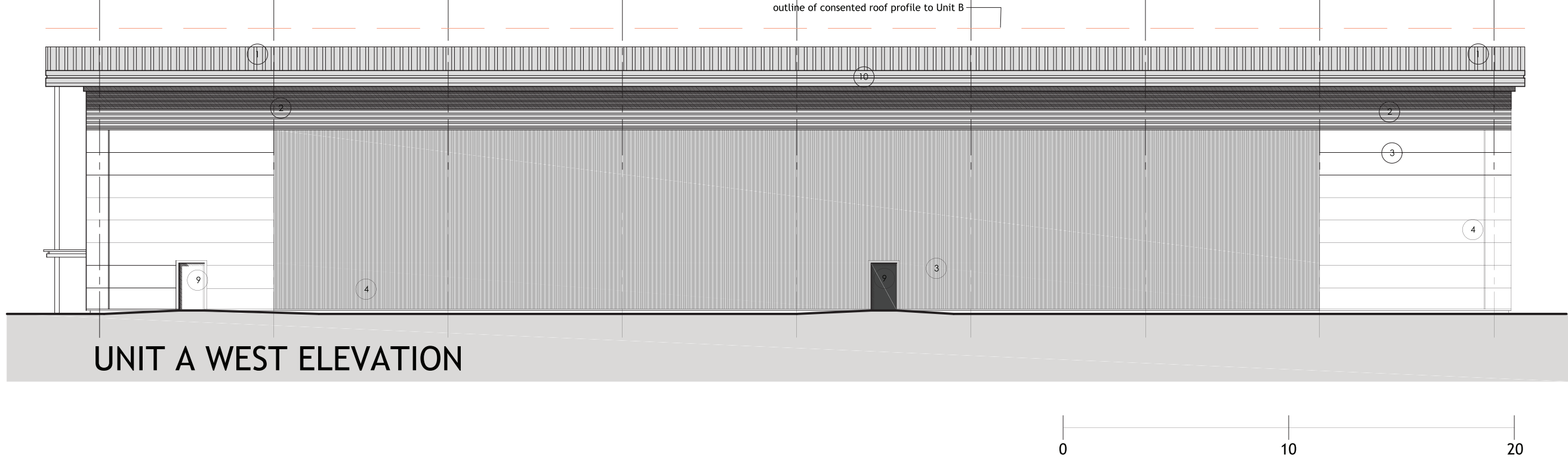
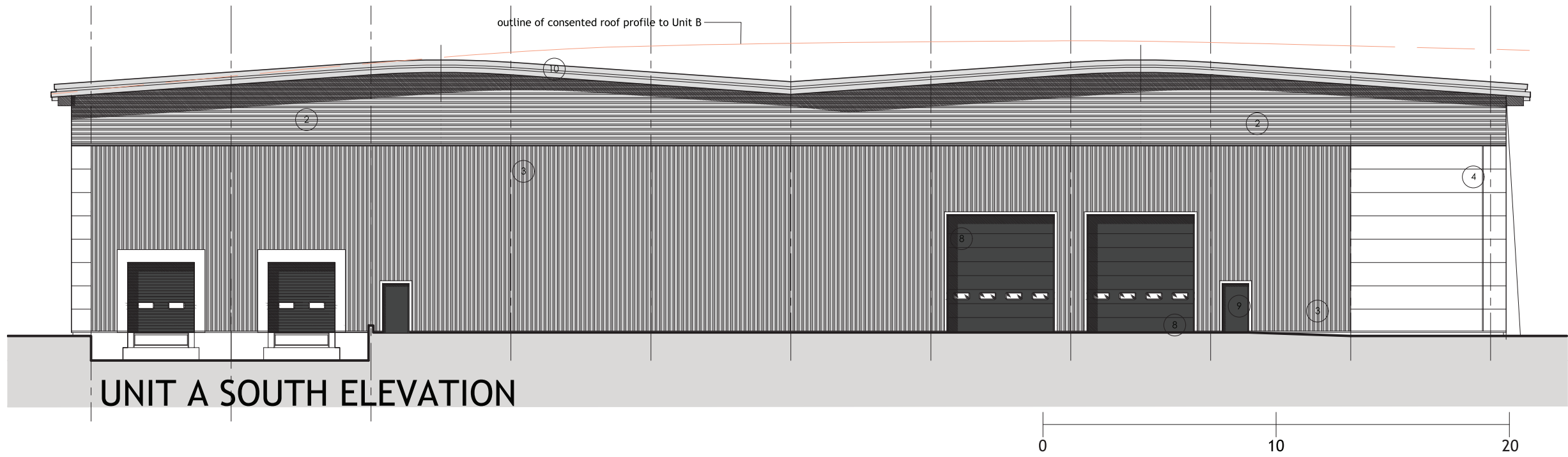
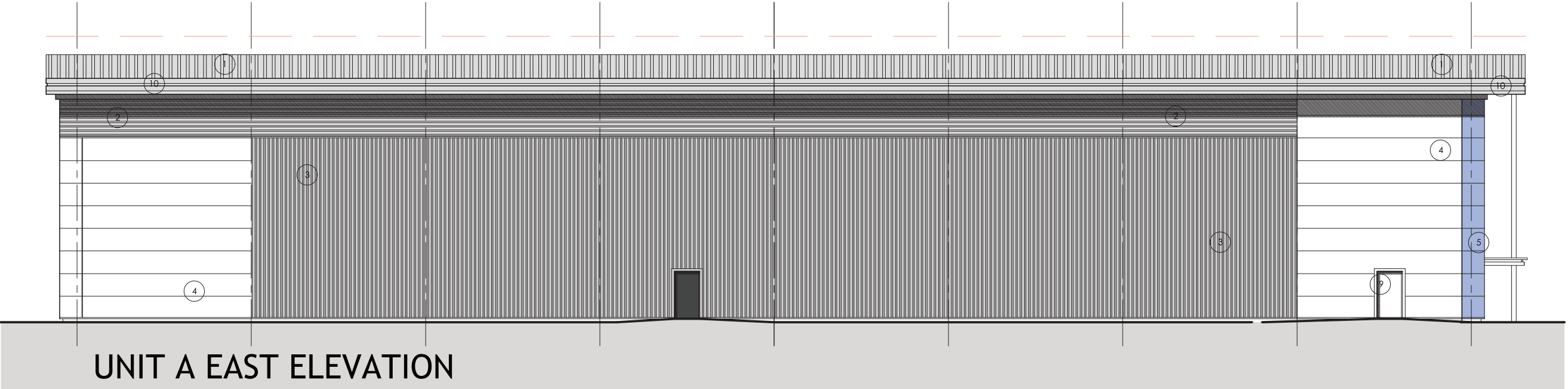
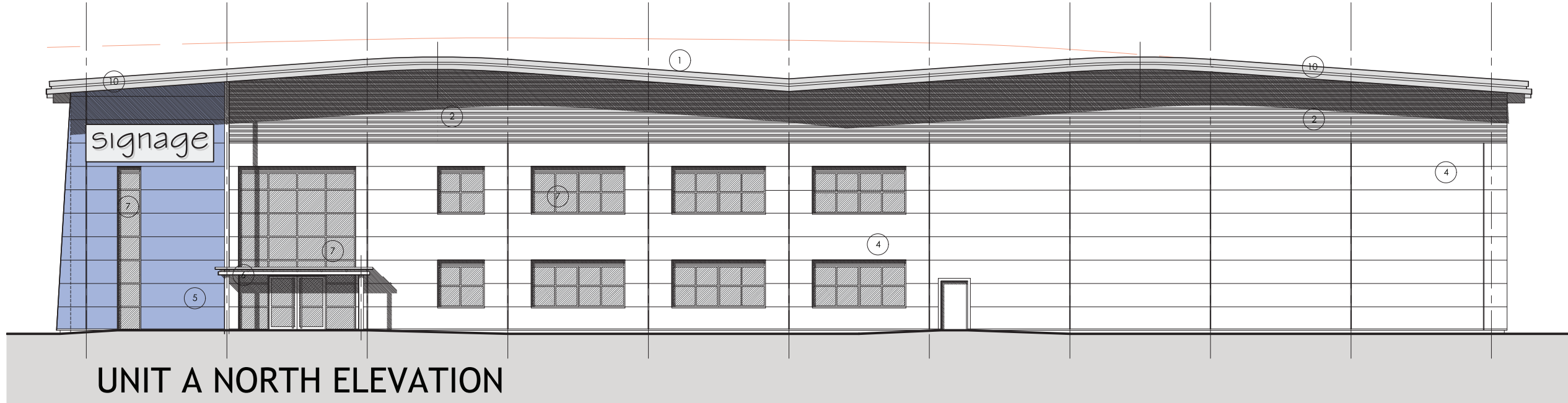


Project:
Pitstone, Buckinghamshire

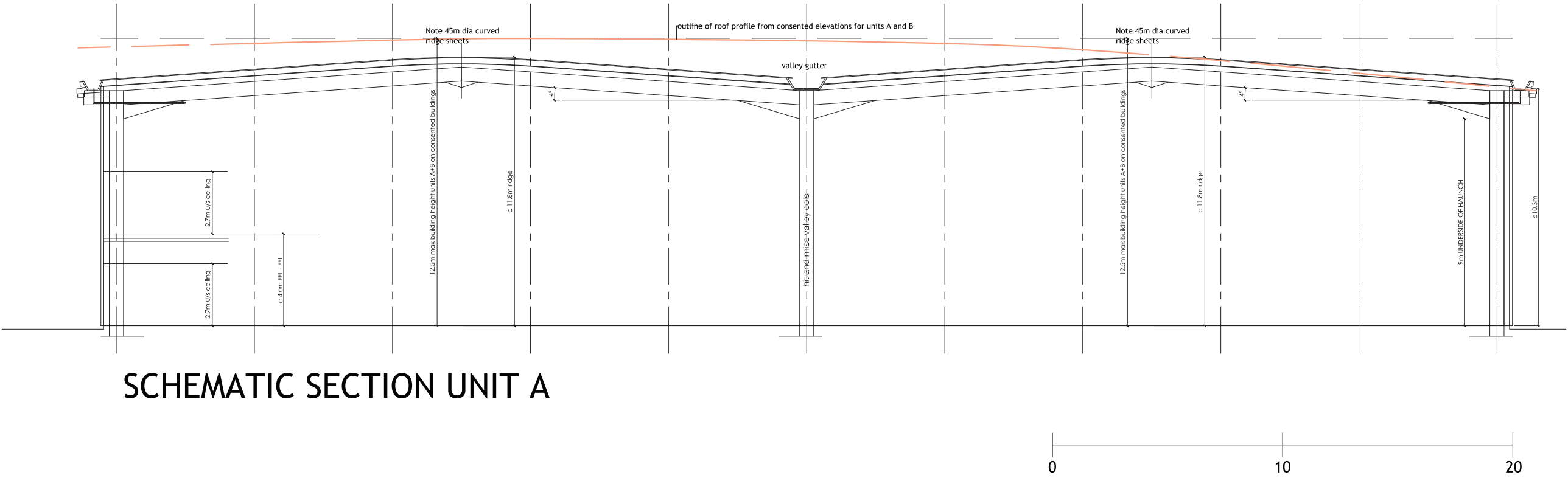
Drawing Title:
Suspended Ceiling Plans

Webb Gray Ltd
Chartered Architects
12-17 Cornhill House
Birmingham B3 2AP
t: 0121 616 6000
e: architectural@webbgray.co.uk
w: www.webbgray.co.uk

Scale: As Indicated
Date: SEPT 24
As indicated
13251 WGA UA ZZ DR A 24-01 C 01



SCHEDULE OF MATERIALS (Building)	
1	- BUILT UP OR COMPOSITE ROOF CLADDING SYSTEM WITH CURVED ROOF FEATURE AND PV PANELS ABOVE OFFICE AREA - OUTER SHEET COATED IN HPS200 ULTRA FINISH - COLOUR - GOOSEWING GREY
2	- HORIZONTALLY LAID PROFILED CLADDING PANELS OR BUILT UP SYSTEM - OUTER SHEET COATED IN HPS200 ULTRA FINISH - COLOUR: PURE GREY
3	- VERTICALLY LAID PROFILED CLADDING PANELS OR BUILT UP SYSTEM - OUTER SHEET COATED IN HPS 200 ULTRA FINISH - COLOUR: ALASKA GREY
4	- HORIZONTALLY LAID MICROB. COMPOSITE CLADDING PANELS - OUTER SHEET COATED IN HPS 200 ULTRA FINISH - COLOUR: WHITE
5	- HORIZONTALLY LAID SMOOTH COMPOSITE CLADDING PANELS - OUTER SHEET COATED IN HPS ULTRA FINISH - COLOUR: OCEAN BLUE
6	- FEATURE STEEL WORK AND CANOPY - COLOUR: WHITE STEEL AND GOOSEWING GREY ROOF + WHITE - SOFTY LINER
7	- ALUMINIUM SECTION CURTAIN WALL/WINDOW/DOOR SCREEN - GREY TINT GLAZED PANELS/OPAQUE BACKED SPANDREL PANELS - POWDER COATED FRAMING - COLOUR - ANTHRACITE RAL 7016
8	- STEEL FACED COMPOSITE SECTIONAL OVERHEAD DOOR SYSTEM - OUTER SURFACE COATED IN PROPRIETARY SURFACE FINISH - COLOUR - ANTHRACITE RAL 7016
9	- STEEL DOOR SET - SURFACE FINISH TO FULL SPECIFICATION PAINT FINISH - COLOUR - ANTHRACITE RAL OR WHITE DEPENDING ON LOCATION
10	- TWO PART EAVES FLASHING DETAIL. COLOUR PURE GREY - INC. SOFFITS



Revision	Description	Date	Drafted	Checked
C	WINDOWS CO-ORDINATED	10-05-24	DLD	LA
B	DOOR ADDED TO FRONT ELEVATION	01-05-24	DLD	LA
A	DOCKS ADDED TO UNIT A	25-04-24	DLD	LA

Project:

Westfield Road
PITSTONE

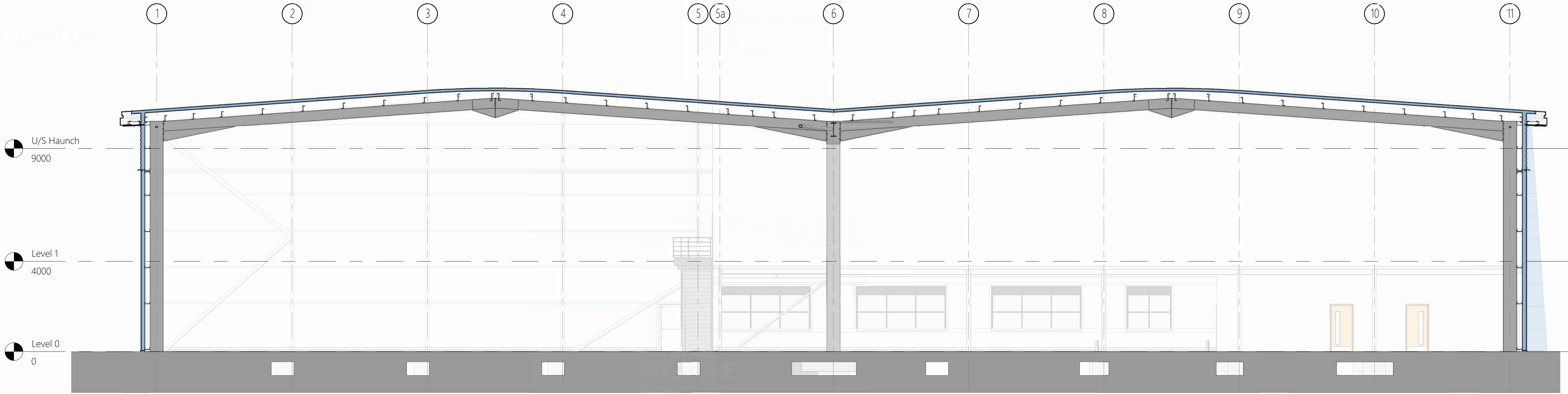
Drawing Title:
UNIT A
ELEVATIONS WITH COLOUR



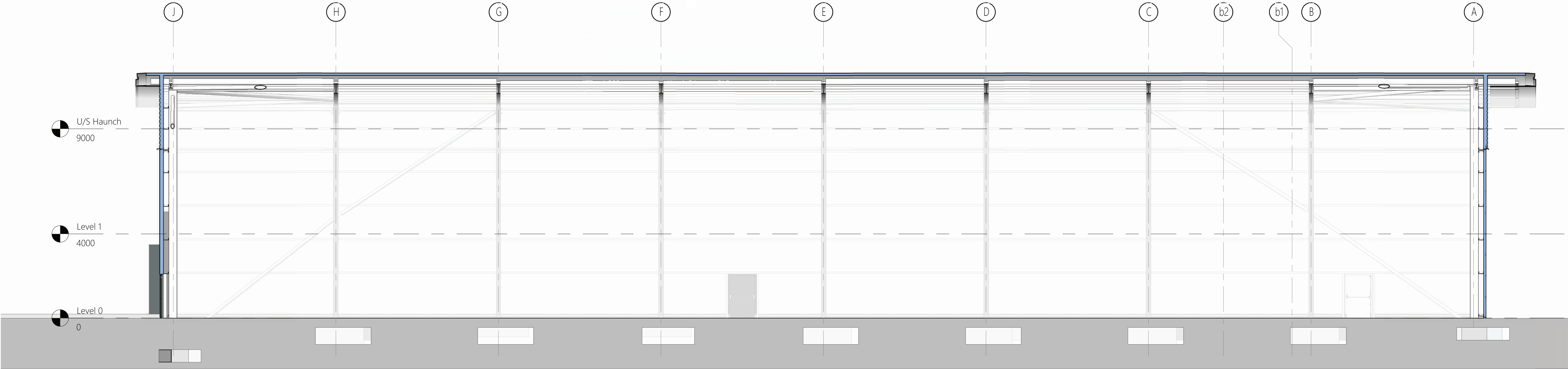
webbgray
Webb Gray Ltd
Chartered Architects
75-77 Colmore Row
Birmingham B3 2AP
t: 0121 516 6030
e: architecture@webbgray.co.uk
w: www.webbgray.co.uk

Scale @ A1:			Date:		Drafted:		Checked:	
1:200			March 24		DLD		LA	
Job No:	Origin:	Vol:	Level:	Type:	Role:	No:	Status:	Revision:
8860	WGA				A	P104	P	C

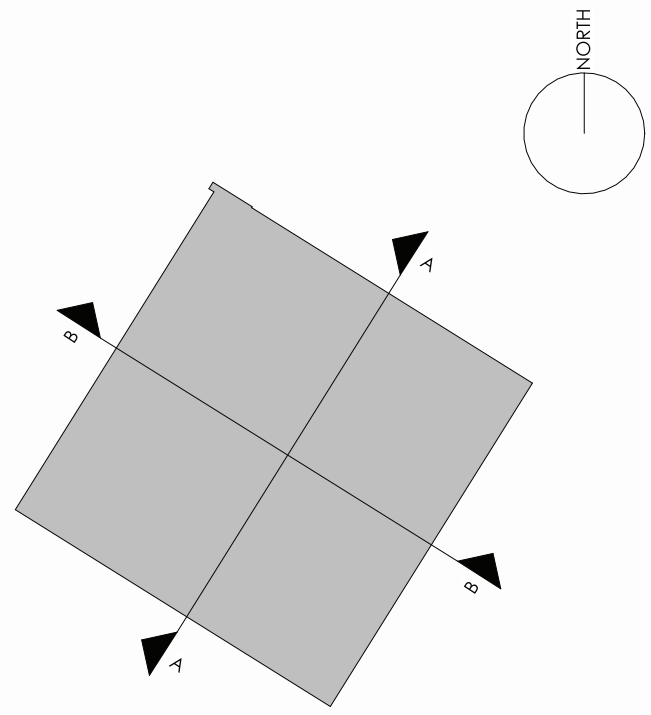
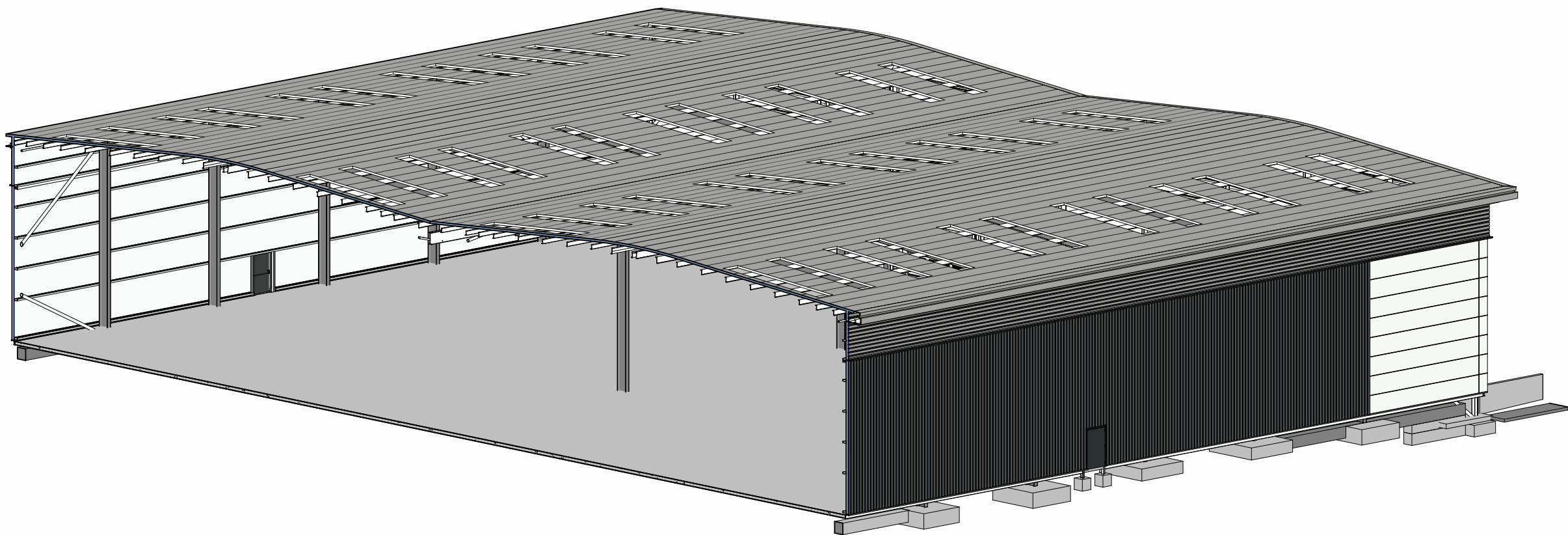
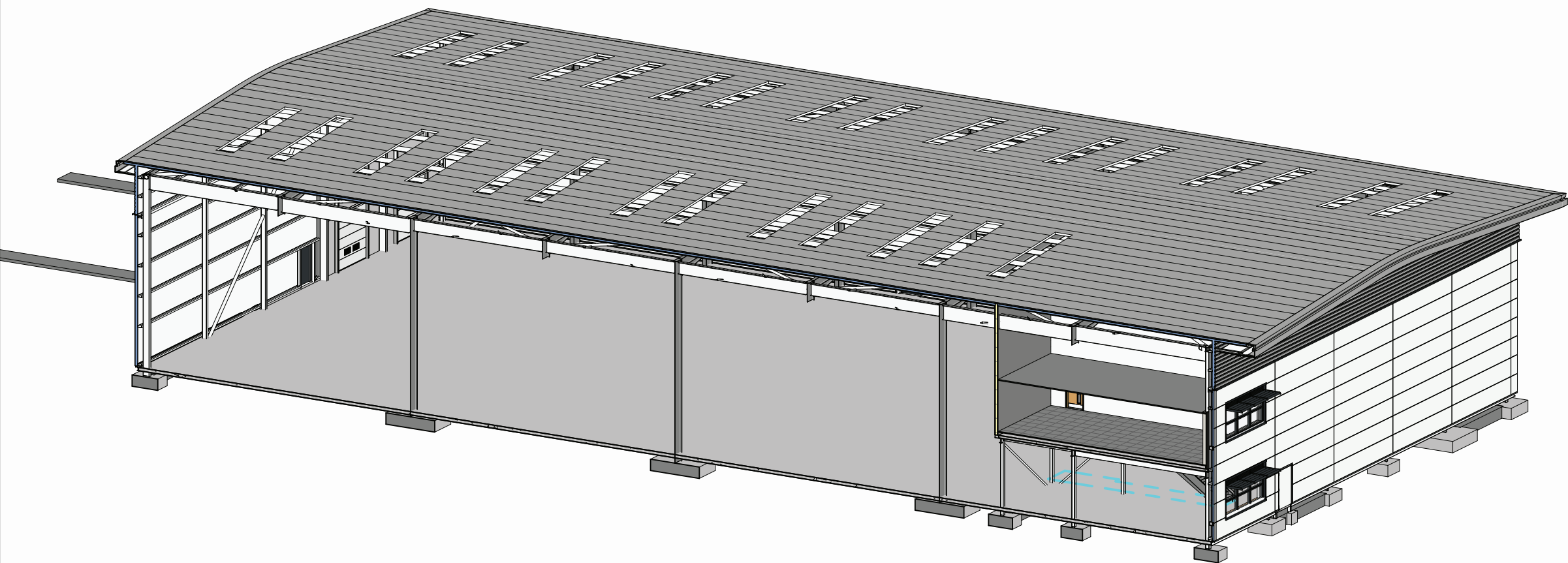
PLANNING



General Section 01
1 : 100

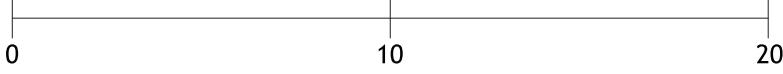


General Section 02
1 : 100





FIRST FLOOR PLAN



© 2022 [webbgray](#)

NOTE:
THIS DRAWING IS © COPYRIGHT OF WEBB GRAY LTD AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING DETAILED TOPOGRAPHICAL SURVEY AND GROUND INVESTIGATION WORK.

IT HAS BEEN ASSUMED THAT OTHER THAN WHERE SHOWN THE SITE IS ESSENTIALLY FLAT WITH NO EASEMENTS TO ABOVE OR BELOW GROUND SERVICES.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING LIAISONS WITH RELEVANT LOCAL AUTHORITIES.

PRELIMINARY INDICATIVE DRAWINGS MAY BE BASED UPON INFORMATION FROM VARIOUS SOURCES. THE ACCURACY OF WHICH CANNOT BE GUARANTEED.

WHERE BOUNDARIES ARE SHOWN THESE ARE AS ADVISED BY THE CLIENT AND ARE FOR GENERAL GUIDANCE ONLY. WHILST PLOTTED WITH REFERENCE TO LAND REGISTRY DATA WHERE AVAILABLE AND INTERPOLATED AS PHYSICAL FEATURES ON SITE WHERE POSSIBLE, THEY ARE NOT INTENDED TO REPRESENT DEFINITIVE SITE EXTENTS OR LEGAL OWNERSHIP.

ALL DIMENSIONS AND SETTING OUT COORDINATES TO BE CHECKED ON THE PROJECT SITE BEFORE WORK IS COMMENCED OR MAKING ANY SHOP DRAWINGS.

IF THIS DRAWING HAS BEEN RECEIVED ELECTRONICALLY IT IS THE RECIPIENTS RESPONSIBILITY TO PRINT THE DOCUMENT TO THE CORRECT SCALE.
ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE IT IS RECOMMENDED THAT INFORMATION IS NOT SCALED OFF THIS DRAWING.
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

B	DOCKS ADDED TO UNIT A	25-04-24	DLD	LA
A	AMENDED TO INCORPORATE COMMENTS FROM PROJECT TEAM	08-04-24	DLD	LA
Revision	Description	Date	Drafted	Checked

Client:

Project:

Westfield Road
PITSTONE
UNIT A
FIRST FLOOR PLAN



Webb Gray Ltd
Chartered Architects
75-77 Colmore Row
Birmingham B3 2AP

t: 0121 616 4030
e: architecture@webbgray.co.uk
w: www.webbgray.co.uk



Scale @ A1:	Date:	Drafted:	Checked:
1:200	March 24	DLD	LA

Job No:	Origin:	Vol:	Level:	Type:	Role:	No:	Status:	Revision:
8860	WGA				A	P103	P	B

PLANNING



© 2022 **webbgray**

NOTE:
THIS DRAWING IS © COPYRIGHT OF WEBB GRAY LTD AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING DETAILED TOPOGRAPHICAL SURVEY AND GROUND INVESTIGATION WORK.

IT HAS BEEN ASSUMED THAT OTHER THAN WHERE SHOWN THE SITE IS ESSENTIALLY FLAT WITH NO EASEMENTS TO ABOVE OR BELOW GROUND SERVICES.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING LIAISONS WITH RELEVANT LOCAL AUTHORITIES.

PRELIMINARY INDICATIVE DRAWINGS MAY BE BASED UPON INFORMATION FROM VARIOUS SOURCES. THE ACCURACY OF WHICH CANNOT BE GUARANTEED.

WHERE BOUNDARIES ARE SHOWN THESE ARE AS ADVISED BY THE CLIENT AND ARE FOR GENERAL GUIDANCE ONLY. WHILST PLOTTED WITH REFERENCE TO LAND REGISTRY DATA WHERE AVAILABLE AND INTERPOLATED AS PHYSICAL FEATURES ON SITE WHERE POSSIBLE, THEY ARE NOT INTENDED TO REPRESENT DEFINITIVE SITE EXTENTS OR LEGAL OWNERSHIP.

ALL DIMENSIONS AND SETTING OUT COORDINATES TO BE CHECKED ON THE PROJECT SITE BEFORE WORK IS COMMENCED OR MAKING ANY SHOP DRAWINGS.

IF THIS DRAWING HAS BEEN RECEIVED ELECTRONICALLY IT IS THE RECIPIENTS RESPONSIBILITY TO PRINT THE DOCUMENT TO THE CORRECT SCALE.
ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE IT IS RECOMMENDED THAT INFORMATION IS NOT SCALED OFF THIS DRAWING.
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

B	DOCKS ADDED TO UNIT A	25-04-24	DLD	LA
A	AMENDED TO INCORPORATE	03-04-24	DLD	LA
Revision	Description	Date	Drafted	Checked
Client:				



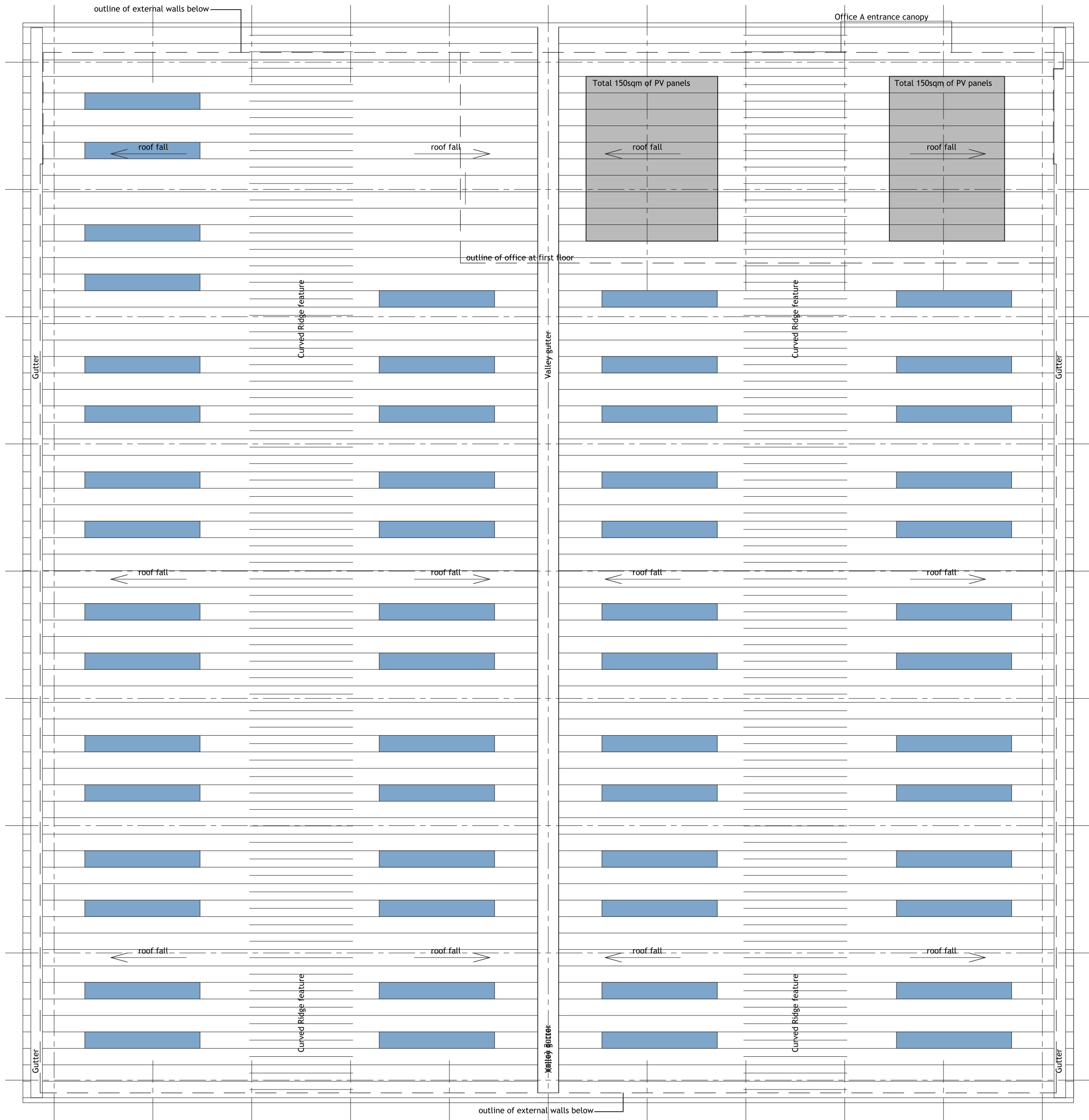
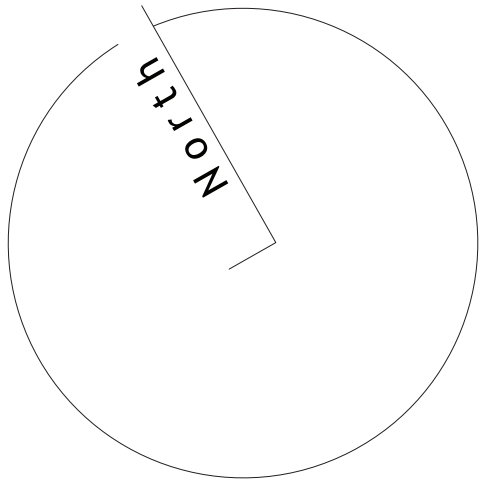
Project:

Westfield Road
PITSTONE
Drawing Title:
UNIT A
GROUND FLOOR PLAN



								
Scale @ A1:		Date:		Drafted:		Checked:		
1:200		March 24		DLD		LA		
Job No:	Origin:	Vol:	Level:	Type:	Role:	No:	Status:	Revision:
8860	WGA				A	P100	P	B

PLANNING



ROOF PLAN
10% roof lights and 150sqm of PV panels above office area.

0 10 20

Built up or Composite roof cladding system with curved ridge feature and pv panels above office area outer sheet coated in hps200 ultra finish Colour - Goosewing Grey

- Area of PV
- Roof light

© 2022 webb gray

NOTE:
THIS DRAWING IS © COPYRIGHT OF WEBB GRAY LTD AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING DETAILED TOPOGRAPHICAL SURVEY AND GROUND INVESTIGATION WORK.

IT HAS BEEN ASSUMED THAT OTHER THAN WHERE SHOWN THE SITE IS ESSENTIALLY FLAT WITH NO EASEMENTS TO ABOVE OR BELOW GROUND SERVICES.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING LIAISONS WITH RELEVANT LOCAL AUTHORITIES.

PRELIMINARY INDICATIVE DRAWINGS MAY BE BASED UPON INFORMATION FROM VARIOUS SOURCES, THE ACCURACY OF WHICH CANNOT BE GUARANTEED.

WHERE BOUNDARIES ARE SHOWN THESE ARE AS ADVISED BY THE CLIENT AND ARE FOR GENERAL GUIDANCE ONLY. WHILST PLOTTED WITH REFERENCE TO LAND REGISTRY DATA WHERE AVAILABLE AND INTERPOLATED AS PHYSICAL FEATURES ON SITE WHERE POSSIBLE, THEY ARE NOT INTENDED TO REPRESENT DEFINITIVE SITE EXTENTS OR LEGAL OWNERSHIP.

ALL DIMENSIONS AND SETTING OUT COORDINATES TO BE CHECKED ON THE PROJECT SITE BEFORE WORK IS COMMENCED OR MAKING ANY SHOP DRAWINGS.

IF THIS DRAWING HAS BEEN RECEIVED ELECTRONICALLY IT IS THE RECIPIENTS RESPONSIBILITY TO PRINT THE DOCUMENT TO THE CORRECT SCALE.
ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE IT IS RECOMMENDED THAT INFORMATION IS NOT SCALED OFF THIS DRAWING.
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

A	AMENDED TO INCORPORATE COMMENTS FROM PROJECT TEAM	03-04-24	DLD	LA
Revision	Description	Date	Drafted	Checked
Client:				



Project:

Westfield Road
PITSTONE

Drawing Title:
UNIT A
ROOF PLAN



webbgray

Webb Gray Ltd
Chartered Architects
75-77 Colmore Row
Birmingham B3 2AP

t: 0121 616 6030
e: architecture@webbgray.co.uk
w: www.webbgray.co.uk

								
Scale @ A1:		Date:		Drafted:		Checked:		
1:200		March 24		DLD		LA		
Job No:	Origin:	Vol:	Level:	Type:	Role:	No:	Status:	Revision:
8860	WGA				A	P102	P	A

PLANNING

DESIGN: MATERIALS

Building materials have generally been reassessed and amended slightly to keep the design intent of the extant consent but with confirmed and current colour and profile references that we believe will have a much greater resistance to fade and deterioration than those previously approved.

1. Roof Cladding Panels

Colour: Goosewing Grey

Trapezoidal profile roof cladding panels using consistent panel sizes and aligned panel joints with curved ridge feature and pv panels above office area.

2. Profiled Cladding Panels

Colour: Pure Grey

Horizontally laid trapezoidal profile cladding panels using consistent panel sizes and aligned panel joints to ensure consistency across all elevations. These panels are used at high level for a consistent and neutral appearance.

3. Profiled Cladding Panels

Colour: Alaska Grey

Vertically laid trapezoidal profile cladding panels using consistent panel sizes and aligned panel joints to ensure consistency across all elevations. These panels are used along the majority of the building elevations for a consistent and neutral appearance.

4. Profiled Cladding Panels

Colour: White

Horizontally laid microrib profile cladding panels using consistent panel sizes and aligned panel joints to ensure consistency across all elevations with preformed corners for refined detailing. These panels form the building bookends and office cladding.

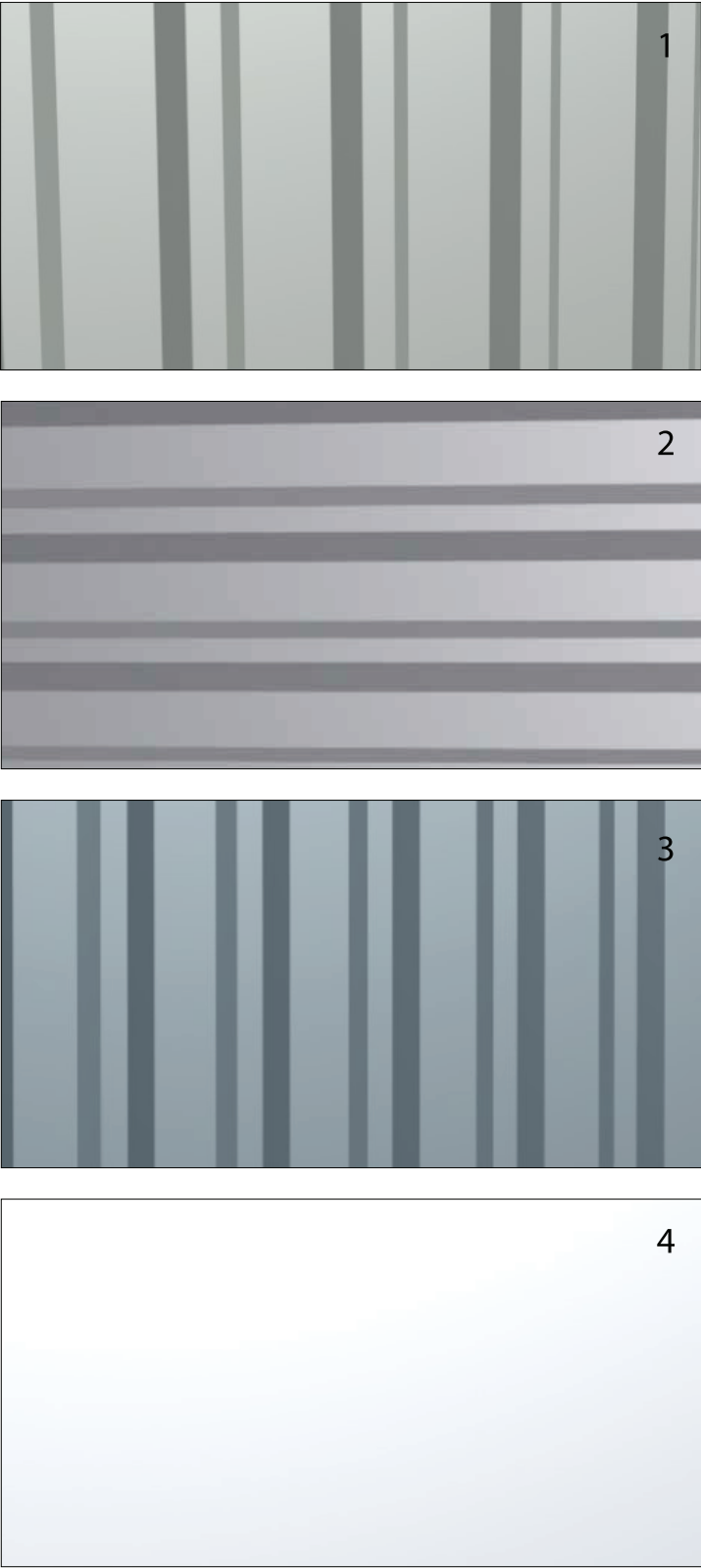


Fig. 18 Material Images



5. Flat Cladding Panels

Colour: Ocean Blue

Horizontally laid flat cladding panels using consistent panel sizes and aligned panel joints to the leading corners of each unit. This provides the visual feature to each unit.

6. Feature Steelwork

Colour: White

Feature entrance canopy supported by white steelwork and consisting of goosewing grey roof cladding with white soffit liner.



7. Flat Cladding Panels

Colour: Grey Tint Glass & Dark Grey Frames

Polyester powder coated aluminium curtain wall and window systems with integrated doors, acting as an entrance feature to the office block and general office windows.

8. Steel Doorsets

Colour: Anthracite or White

Polyester powder coated steel doorsets coloured depending on the location within the various cladding types / colours.



9. Service Yard Docks & Integral Doors

Colour: Dark Grey Doors & Self Finish Concrete

A mixture of overhead door systems (All units) and dock door systems set within precast concrete dock walls (Units C & D) to serve the functional requirements of the buildings. The doors are coloured to contrast with the adjacent cladding for maximum legibility.

Fig. 19 Material Images

CONCLUSION



This Design Document illustrates the amendments to the existing planning permission that have occurred through design development. This document demonstrates the extent of the changes and how the design has been developed to closely reflect the originally approved scheme while taking into account site considerations and regulatory requirements which have occurred since 2003 to formulate the optimal solution for the project.