



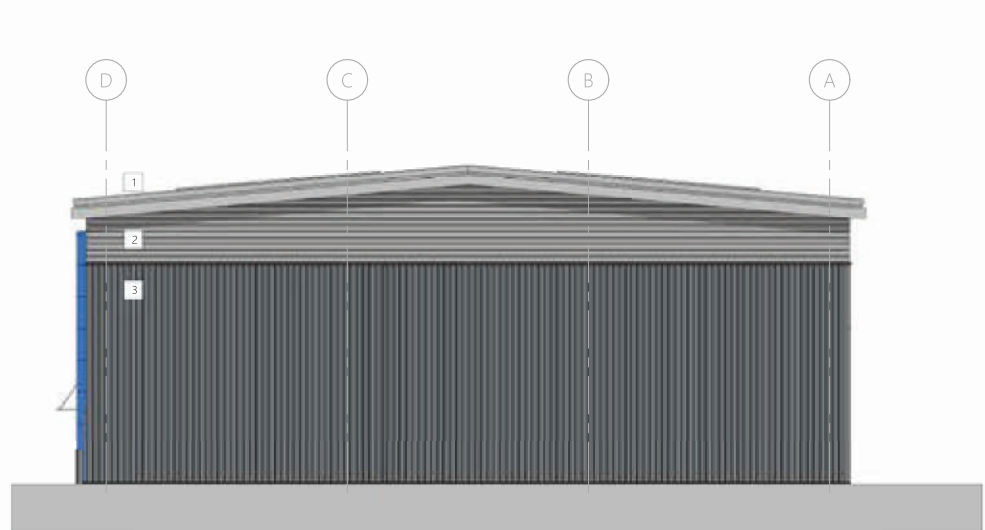
A41CONNECT

UNIT E

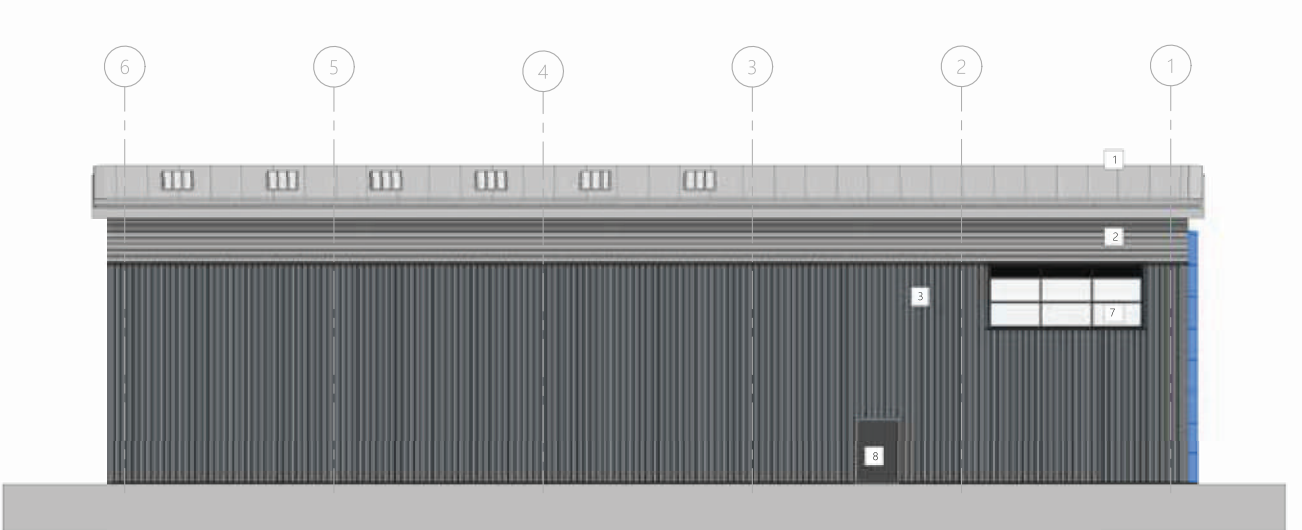
PITSTONE BUSINESS PARK, WESTFIELD ROAD



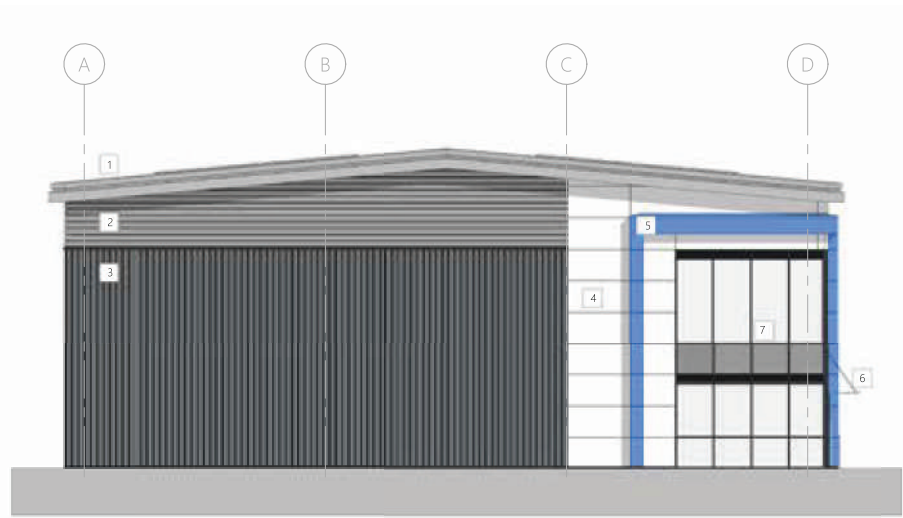
Fig. 2 Site Layout Plan



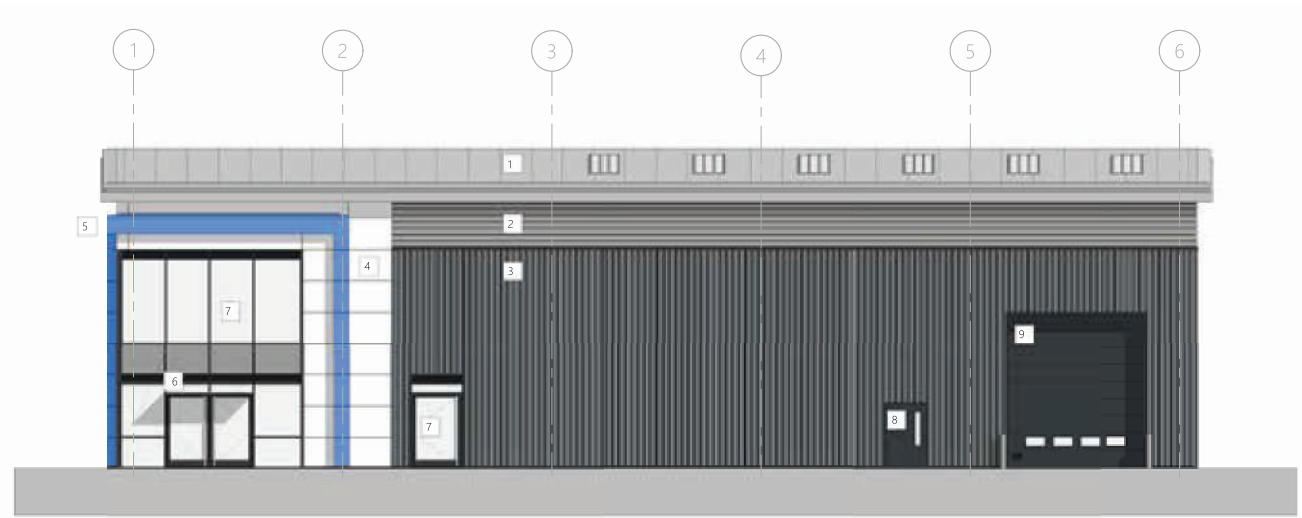
North Elevation



West Elevation



South Elevation



East Elevation

Fig. 11 Unit E Elevations

Building Regulation Notes (Sanitation, hotwater safety and water efficiency: Approved Document G)

Toilet Provision Notes

The design of sanitary facilities in the workplace should be in accordance with Clause 5 and the following recommendations.

a) Minimum provision of sanitary appliances should be in accordance with Table 3 or Table 4 of Clause 6 within **BS6465:2006 Part 1** Sanitary installations.

Toilet Provision Calculation

Toilet Provision is based on **BS6465:2006 Part 1** Sanitary installations and BCO guidance using an occupancy density of 1 per 10 sqm of the overall net floor area and a male/female split of 60%/40% (i.e. 20% excess provision against calculated occupancy)

"The below calculation is indicative only to provide numbers for drainage under CAT A"

Due to the Ground floor not being fitted out the provision for toilets is based on the main core only.

CAT A Assumption N/A over three floors: 240m²
Occupancy Rate = 1 per 10m² = c.24 Persons
Split 60:60 equates to 14 Male and 14 Female

14 Female Total = 2WC's and 2WB's

14 Male Total = 2WC's and 2WB's

Total 5WC's and 5WB's including disabled provision

Disabled Per Floor = 1Dis

*WC = Water Closet
*WB = Wash Basin
*U = Urinal
*Dis = Disabled Toilet

*M=Male
*F=Female

Building Regulations Notes	
All works to be carried out in accordance with the current Building Regulations, British Standards and Code of Practice and to the satisfaction of the Building Inspector.	
These notes apply to Architectural works Please see Building Regulation General and fire Tracker for further Detail on considerations.*	
Considered	Not Applicable
Structure: Approved Document A	
Please refer to Structural / Civils Engineers Details	
Fire Safety: Approved Document B (Refer to separate fire tracker for more detail)	
Applied Guidance In assessing the suitability of the fire safety arrangements for the building reference has been made to BS9999 and Approved Document B.	
See further details on Fire Strategy Drawings.	
Site preparation and resistance to contaminants and moisture: Approved Document C	
Please refer to Structural / Civils Engineers Details	
Toxic Substances: Approved Document D	
Not Applicable	
Resistance to Sound: Approved Document E	
Not Applicable	
Ventilation: Approved Document F	
Please refer to Mechanical and Electrical Engineers Details	
Sanitation, hotwater safety and water efficiency: Approved Document G	
The design of sanitary facilities in the workplace should be in accordance with Clause 5 within BS6465:2006 Part 1 and the following recommendations.	
a) Minimum provision of sanitary appliances should be in accordance with Table 3 or Table 4 of Clause 6 within BS6465:2006 Part 1 Sanitary installations.	
Toilet provision is based on BS6465:2006 Part 1 Sanitary installations and BCO guidance using an occupancy density of 1 per 10 sqm of the overall net floor area and a male/female split of 60%/40% (i.e. 20% excess provision against calculated occupancy).	
See further details on Toilet details & Mechanical and Electrical Engineers Details.	
Drainage and Waste Disposal: Approved Document H	
Please refer to Structural / Civils Engineers Details.	
Combustion appliances and fuel storage systems: Approved Document J	
Please refer to Mechanical and Electrical Engineers Details.	
Protection from falling, collision and impact: Approved Document K	
Handrail design to be in accordance with Approved Document K Diagram 113	
Headroom for stairs: Access between levels to comply with Approved Document K Diagram 1.3	
Stair widths: Minimum dimension between enclosing walls, strings or upstands of 1000mm. A minimum width between handrails of 1000mm. If the flight is more than 2m wide, divide it into flights a minimum of 1000mm wide, as shown in Diagram 1.5.	
Length of flights of Stairs: General access stairs >12 risers between landings.	
See further details on Detailed Sections & Staircase Drawings.	
Conservation of fuel and power: Approved Document L	
Please refer to Mechanical and Electrical Engineers Details.	
Access to and use of buildings: Approved Document M	
An Access Statement is to be produced identifying the approach to include design at the end of the project for the D & M's.	
Level access required to main entrance doors.	
Front entrance doors to be powered automatic opening doors or operable with maximum force of 30 N from 0° (the door in the closed position) to 30° and not more than 22.5 N from 30° to 60 of the opening cycle.	
Barrier / clearing mat to be provided internally with suitable friction resistance.	
Light switches to be at 1000mm Height.	
Sockets to be above 400mm	
Walls and floors to have colour contrast	
If the doors are not automatic a suitable canopy should be provided to the main entrance doors.	
All internal doors should be at least 850mm clear when the approach is head on and be provided with suitable vision panels at both low and high level.	
All doors on circulation routes should also be provided with a zone of visibility. In accordance with Approved Document M 3.10 h	
All internal doors should have suitable contrasting furniture.	
All internal doors should be operable with a maximum force of 20N	
The main entrance doors should be at least 800mm individually each leaf if not automatic lift to have an unobstructed 1500mm x 1500mm manoeuvring space in front of the doors.	
Overheating: Approved Document Q	
Not Applicable	
Electrical Safety: Approved Document P	
Not Applicable	
Security in Dwellings: Approved Document Q	
Not Applicable	
Infrastructure for electronic communications: Approved Document R	
Please refer to Mechanical and Electrical Engineers Details.	
Infrastructure for charging electric vehicles: Approved Document S	
Please refer to Electrical Engineers Details.	
Materials and Workmanship: Approved Document 7	
Regulation 7 specifies that all work shall be carried out with adequate and proper materials which are:	
(i) Appropriate for the circumstances in which they are used.	
(ii) Are adequately mixed or prepared, and	
(iii) Are applied, used or fixed so as adequately to perform the functions for which they are designed and	
(iv) in a workmanlike manner.	
Regulation 7 aligns with The Construction Products (Amendment) Regulations 1994, which requires that construction products that are covered by a European product standard or conform to a European Technical Assessment with a CE marking. The products and materials specified and used within the development should all be provided in accordance with Regulation 7.	

05	Office content removed to shell only	DLD	09-04-25
04	U values added from SBEM Calc	DLD	26-03-25
03	Construction Issue	DLD	18-03-25
02	Wall type changed to jumbo stud	DLD	25-02-25
01	Initial Issue	DLD	11-02-25

Revision:	Description:	By:	Date:
Client:			



Project:
UNIT E Westfield Road

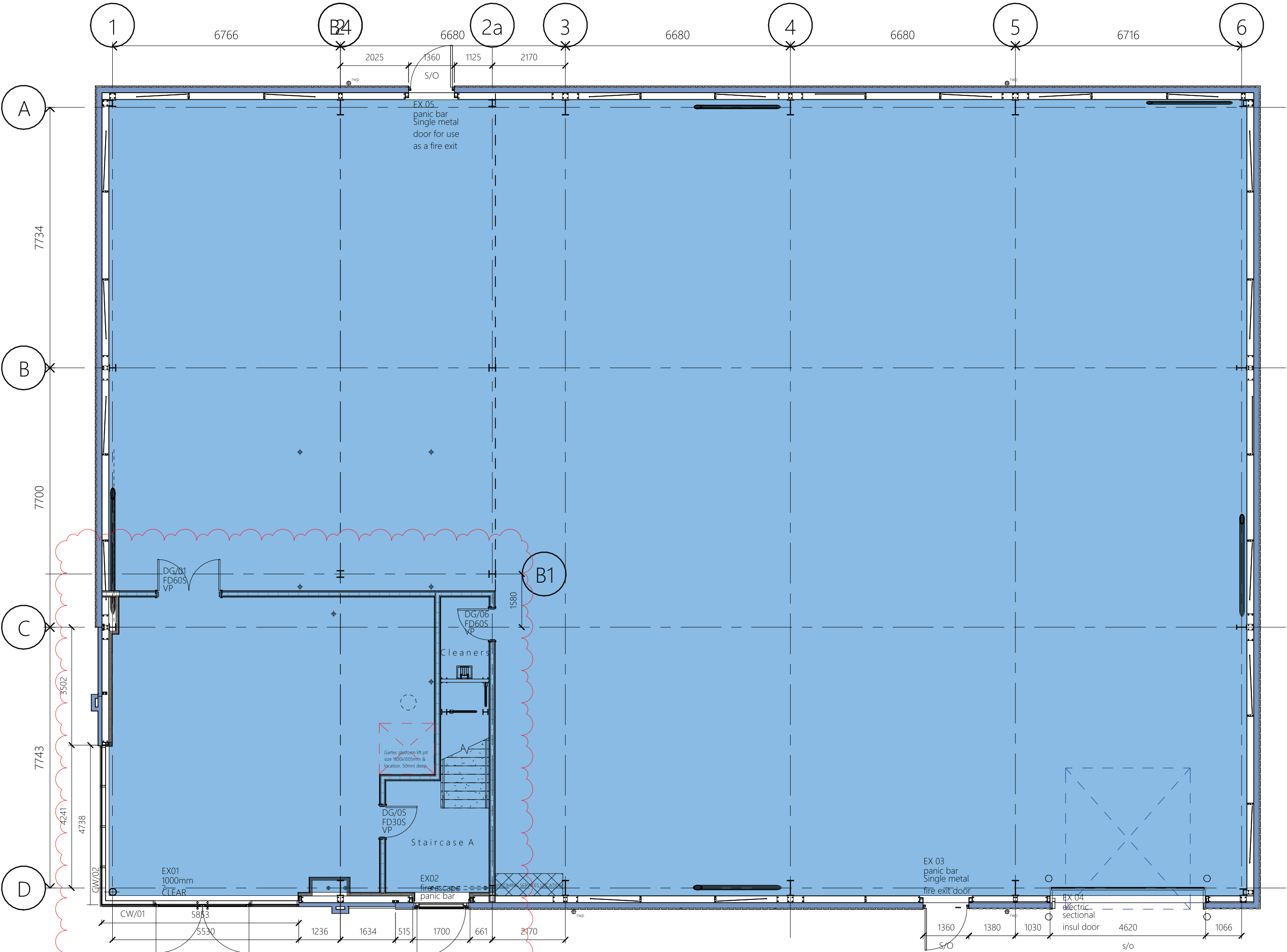
Drawing Title:
Unit E General Floor Plans

Scale @ A1		Date:	Drafted:	Checked:
As indicated		02/10/25	DLD	DLD
Job No:	Origin:	Vol:	Level:	Type:
13251	WGA	UE	ZZ	DR
Role:		No:	Status:	Revision:
A		20-01	C	05

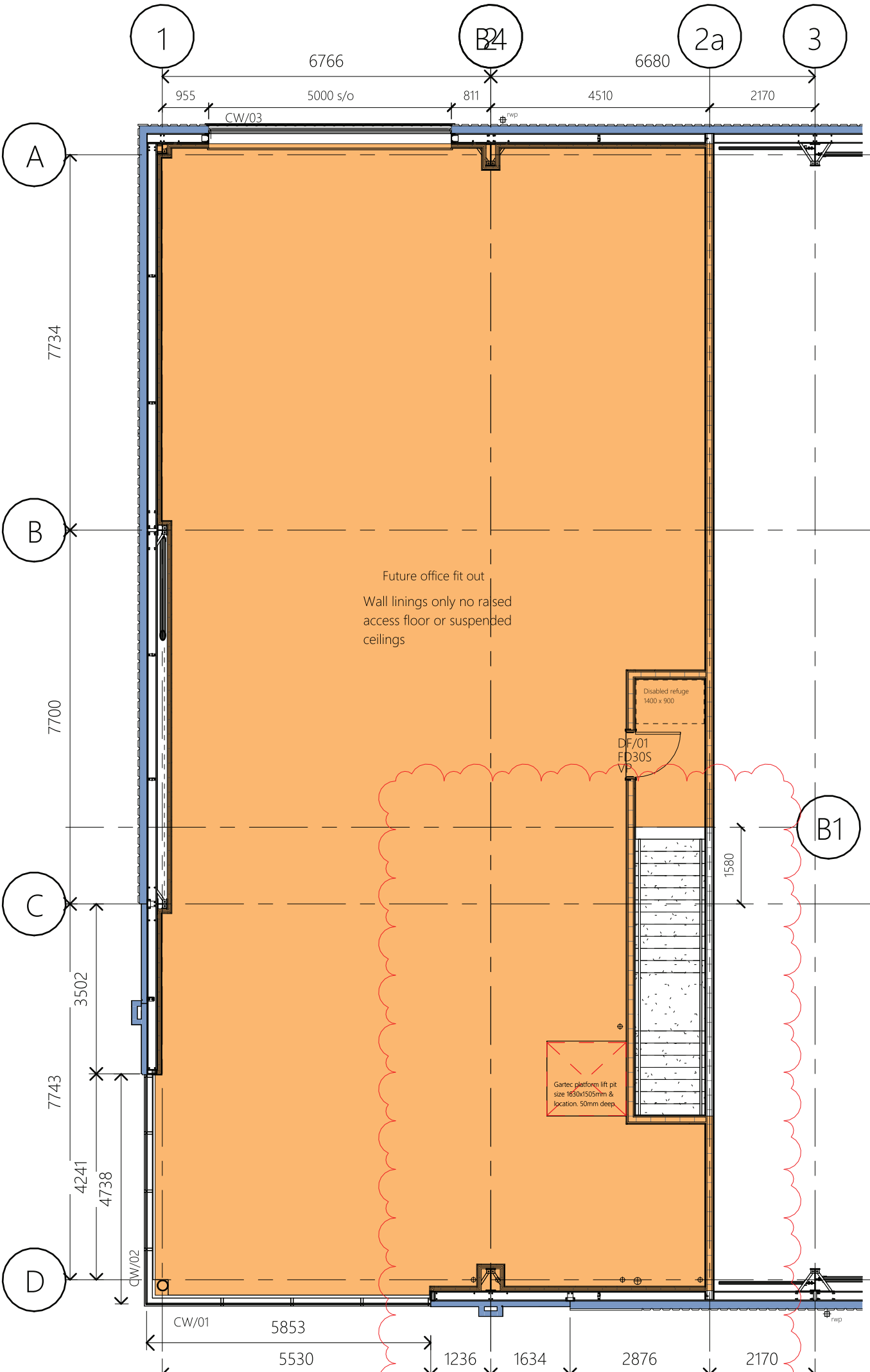
CONSTRUCTION

Webb Gray Ltd
Chartered Architects
75-77 Colmore Row
Birmingham B3 2AP

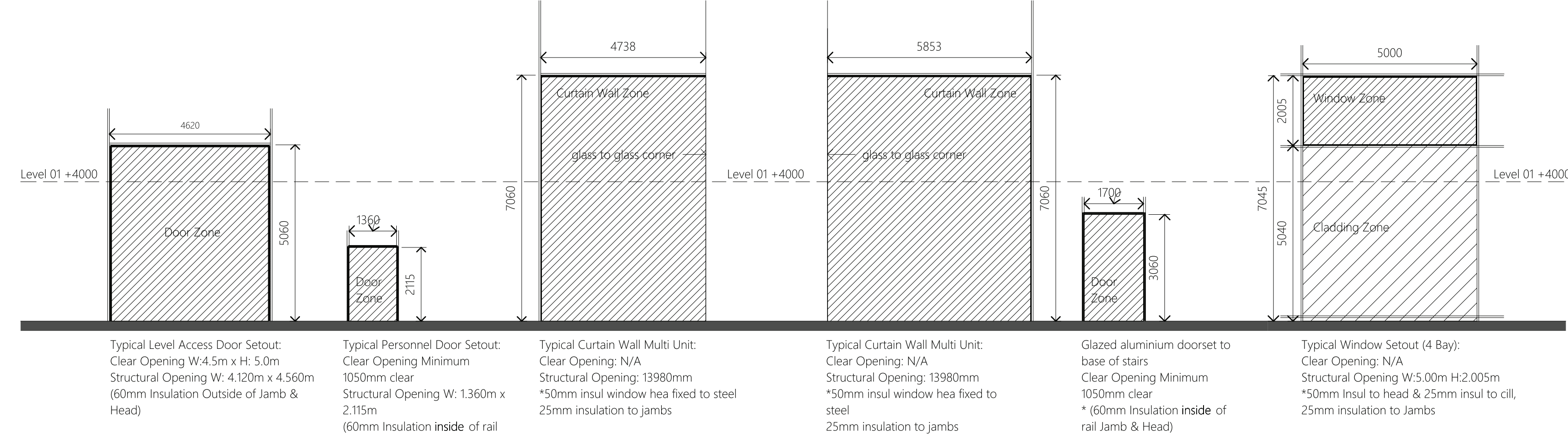
t: 0121 616 6030
e: architecture@webbgray.co.uk
w: www.webbgray.co.uk



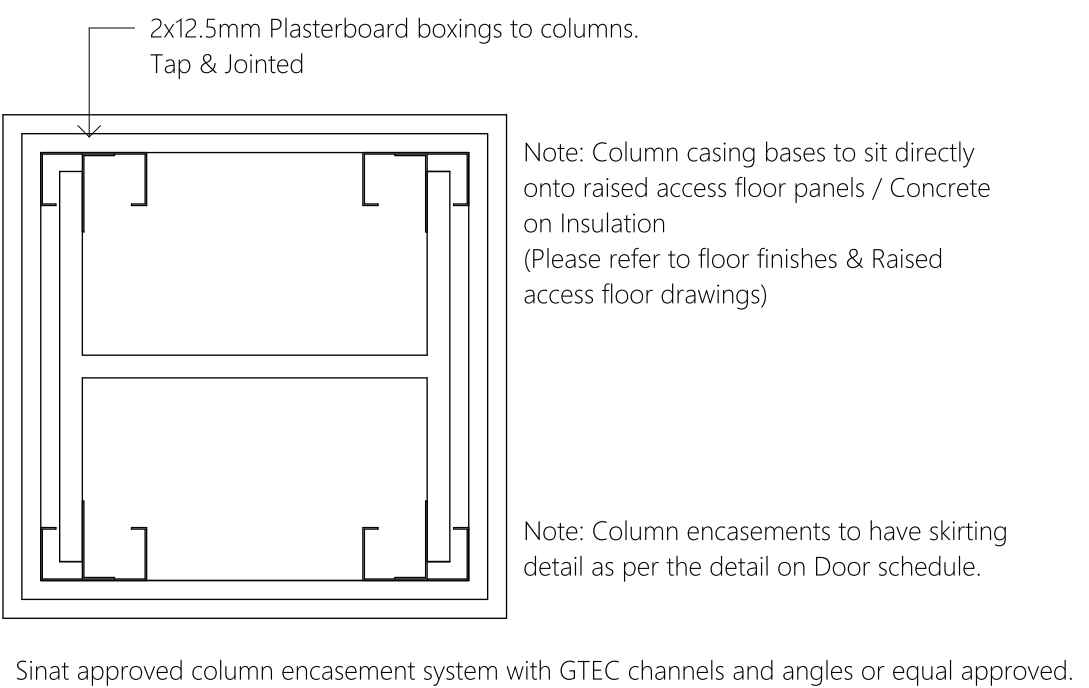
General Floor Plan
1: 100



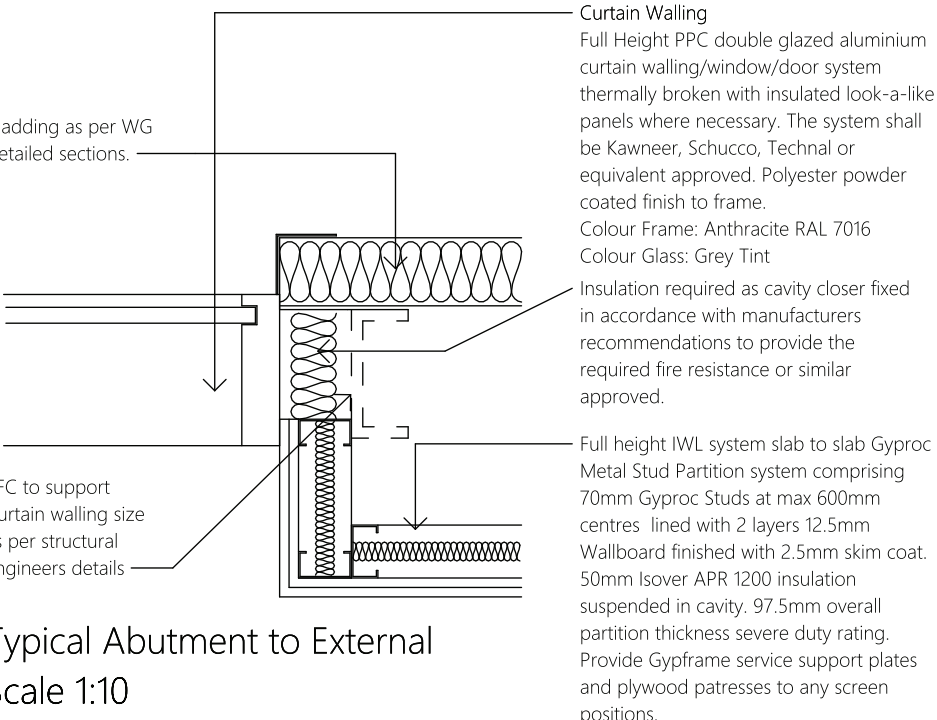
First Floor Plan
1: 100



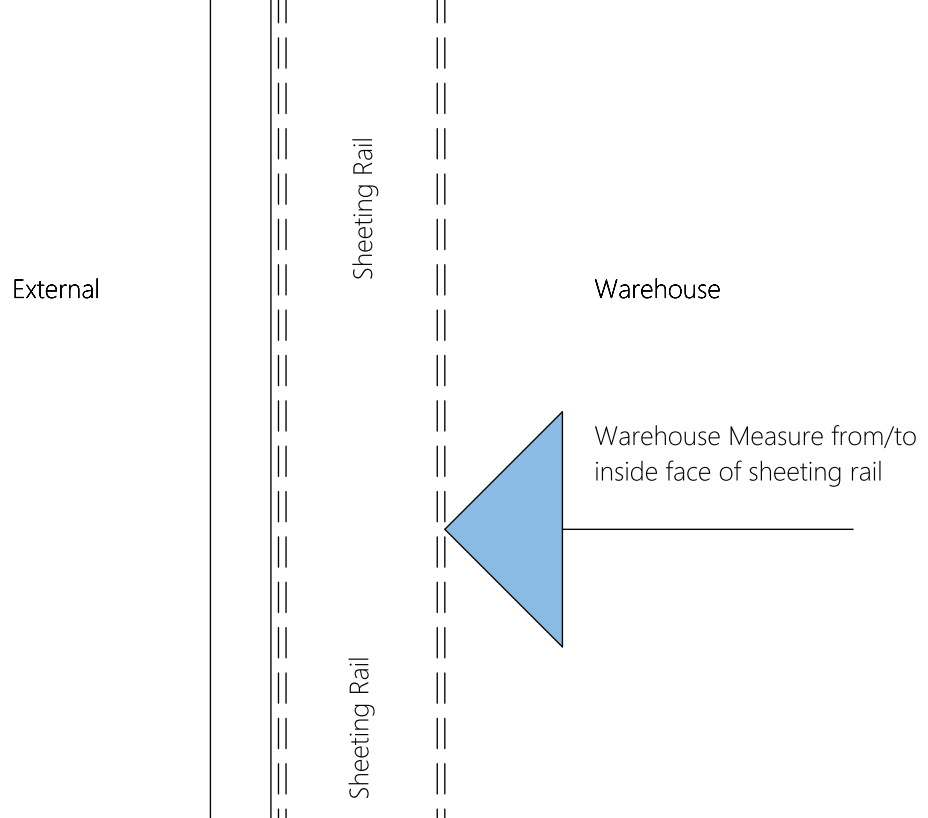
Rail Setting Out & Insulation Parameters
1: 100



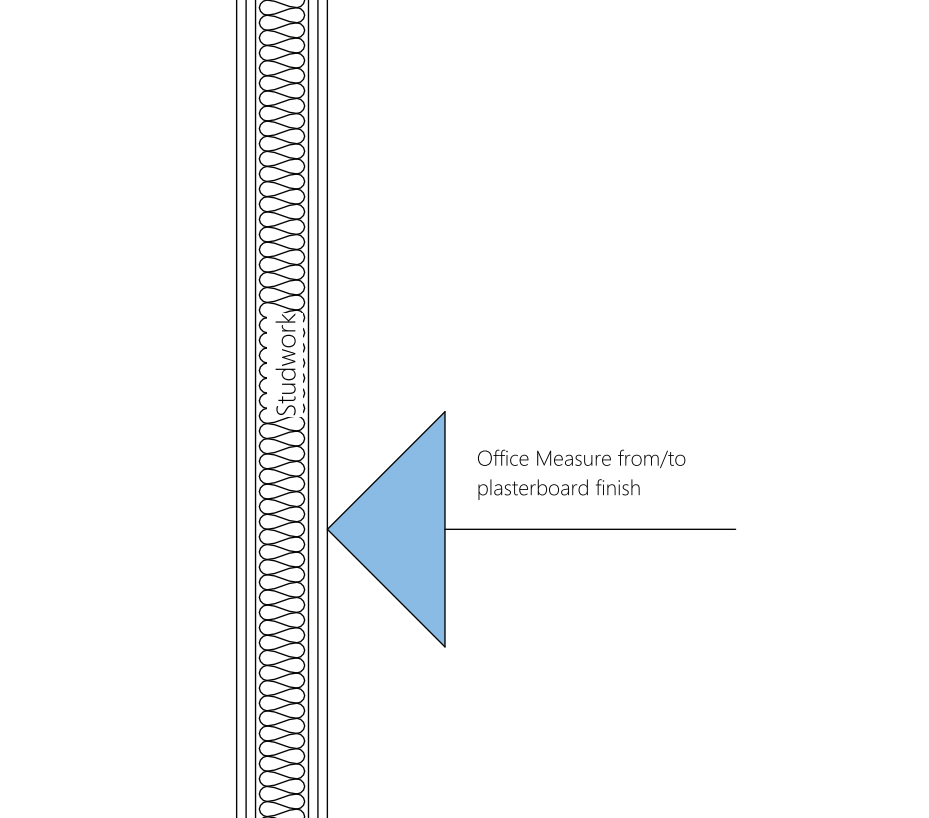
Typical Column Encasement
1: 5



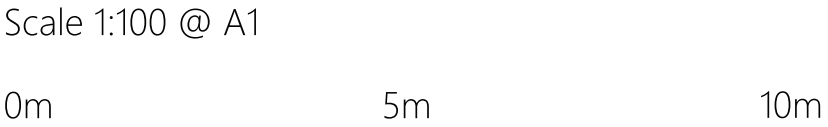
Typical Abutment to External
1: 10

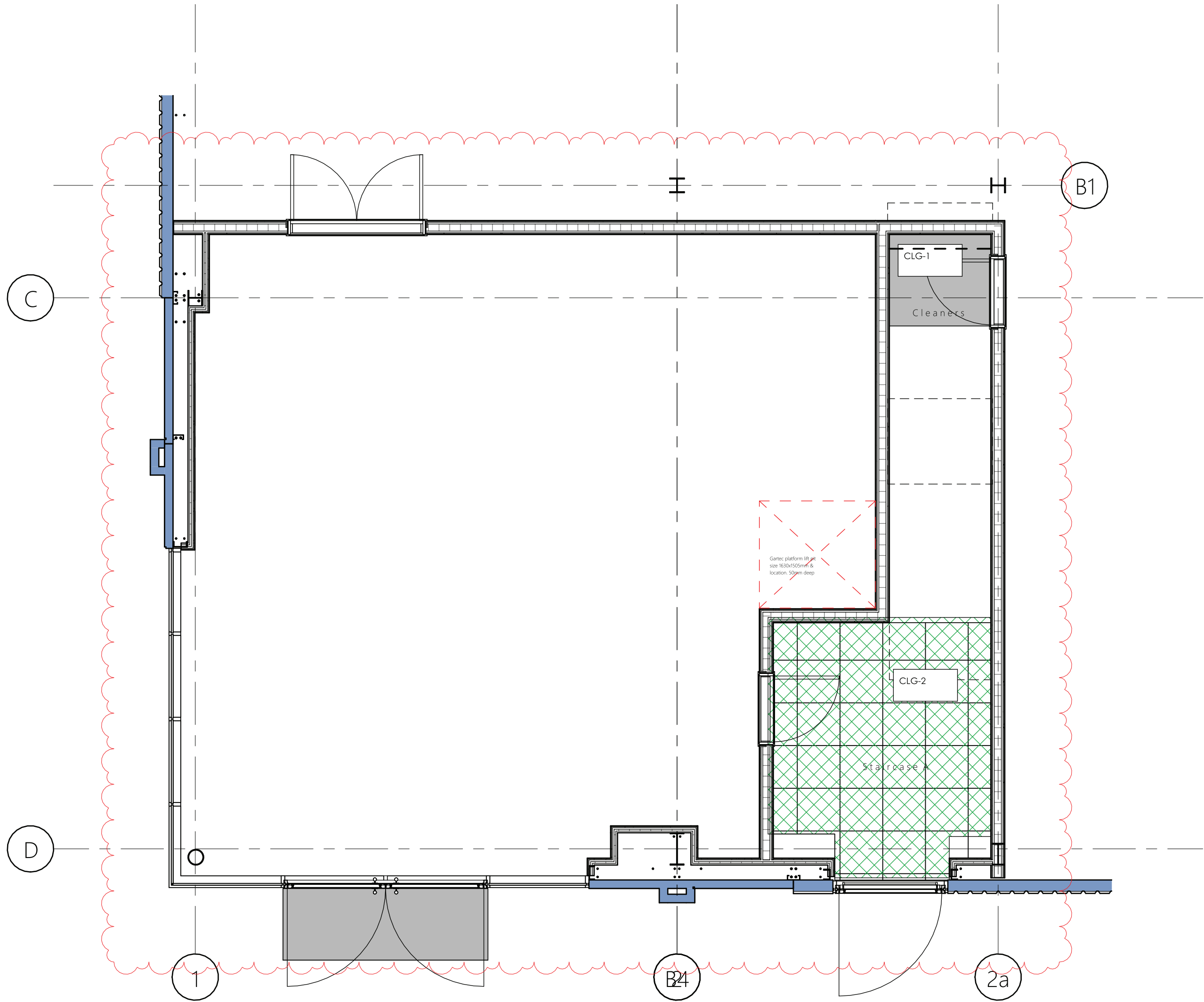


Warehouse Measurement Detail
1: 10

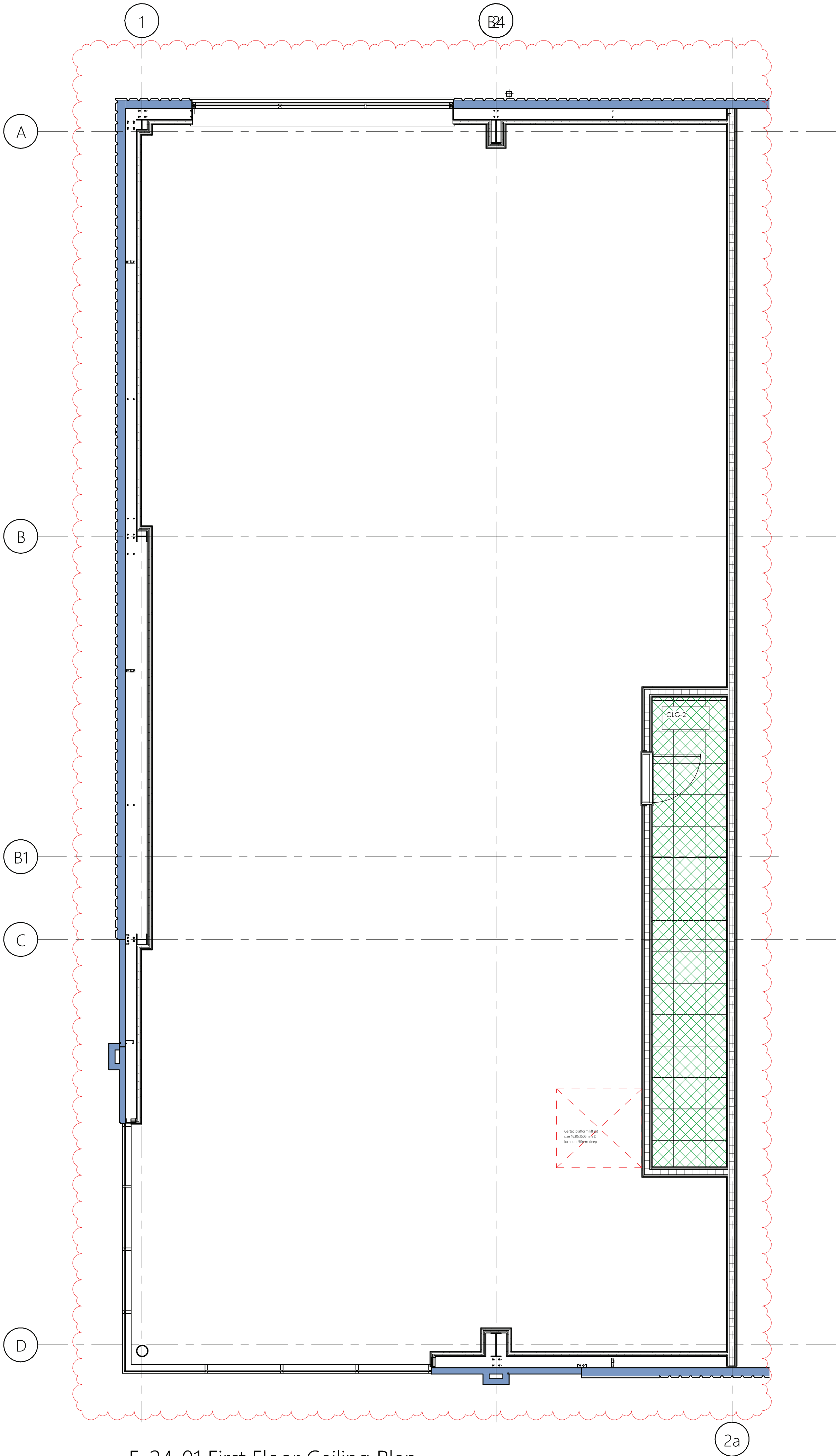


Office Measurement Detail (Stud)
1: 10





E-24-01 Ground Floor Ceiling Plan
1: 50



E-24-01 First Floor Ceiling Plan
1: 50

© 2024 webbgray
NOTE:
THIS DRAWING IS © COPYRIGHT OF WEBB GRAY LTD AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION.
ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING DETAILED TOPOGRAPHICAL SURVEY AND GROUND INVESTIGATION WORK.
IT HAS BEEN ASSUMED THAT OTHER THAN WHERE SHOWN THE SITE IS ESSENTIALLY FLAT WITH NO EASEMENTS TO ABOVE OR BELOW GROUND SERVICES.
ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING LIAISONS WITH RELEVANT LOCAL AUTHORITIES.
PRELIMINARY INDICATIVE DRAWINGS MAY BE BASED UPON INFORMATION FROM VARIOUS SOURCES, THE ACCURACY OF WHICH CANNOT BE GUARANTEED.
WHERE BOUNDARIES ARE SHOWN THESE ARE AS ADVISED BY THE CLIENT AND ARE FOR GENERAL GUIDANCE ONLY. WHILST PLOTTED WITH REFERENCE TO LAND REGISTRY DATA WHERE AVAILABLE AND INTERPOLATED AS PHYSICAL FEATURES ON SITE WHERE POSSIBLE, THEY ARE NOT INTENDED TO REPRESENT DEFINITIVE SITE EXTENTS OR LEGAL OWNERSHIP.
ALL DIMENSIONS AND SETTING OUT COORDINATES TO BE CHECKED ON THE PROJECT SITE BEFORE WORK IS COMMENCED OR MAKING ANY SHOP DRAWINGS.
IF THIS DRAWING HAS BEEN RECEIVED ELECTRONICALLY IT IS THE RECIPIENTS RESPONSIBILITY TO PRINT THE DOCUMENT TO THE CORRECT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE IT IS RECOMMENDED THAT INFORMATION IS NOT SCALED OFF THIS DRAWING. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

Ceiling Types

Plasterboard Ceilings:

CLG-1

Gyproc Saint Gobain (or equal approved) MF ceiling system finished with 3 coats emulsion. MR to shower, toilets and cleaners.

Ceiling Heights:

- General Circulation: 2.7m
- Toilets: 2.4m

To meet the following standards:

BS 476: Part 23: 1987 Fire tests on building materials and structures.

Suspended Ceilings:

CLG-2

Zentia Aruba (or equal approved) (600x600mm) ceiling tiles - Prelude 15 exposed grid system.

Ceiling Heights:

- Office & General Circulation: 2.7m

To meet the following standards:

BS-EN 13501-1 class B-s3,d2 to all spaces in line with AD B Table 6.1 Classification of linings.

Aruba actually achieves: Euroclass A2-s1, d0

CLG-3

Zentia Microlook Hydrabloc (or equal approved) (600x600mm) ceiling tiles - Prelude 15 exposed grid system.

Ceiling Heights:

- Toilets: 2.4m

To meet the following standards:

BS-EN 13501-1 class B-s3,d2 to all spaces in line with AD B Table 6.1 Classification of linings.

Hydrabloc actually achieves: A1

General Notes:



Tiles to be Clipped in areas where ceiling tiles may uplift due to air vacuum.

Cavity / Fire Barriers

CLG-4

Ceilings

Rockwool FirePro fire barrier system (or equal approved) to provide Cavity barrier (30mins FR) within ceiling voids (between ceiling grid & underside of floor slab) to be installed to manufacturers details. Maximum centres 20.0m but sited to suit M&E design. Suitable fire dampers and fire stopping to be fitted to any ductwork or services passing through cavity barrier or fire rated wall to be installed to manufacturers details. Please refer to Rockwool FirePro documentation for more information on suitable fire stopping.

CLG-5

Floors

Rockwool FirePro fire barrier system (or equal approved) to provide Cavity barrier (30mins FR) within ceiling voids (between Raised access floor & floor slab) to be installed to manufacturers details & raised access floor system manufacturers recommendations. Maximum centres 20.0m but sited to suit M&E design. Suitable fire dampers and fire stopping to be fitted to any ductwork or services passing through cavity barrier or fire rated wall to be installed to manufacturers details. Please refer to Rockwool FirePro documentation for more information on suitable fire stopping.

Cavity barriers to meet the following standards:

- BS 476: Part 22 Fire Test
- Fire classification of A1 as defined in BS EN 13501-1
- LPCB (Loss prevention council) certification board)

Fire stopping to meet the following standards:

- BS EN 1366-3: Fire resistance test for service installations. Penetration Seals
- BS EN 1363-1: Fire resistance tests. General Requirements

03	Office content removed to shell only	DLD	09-04-25
02	Construction Issue	DLD	18-03-25
01	Initial Issue	DLD	25-02-25

Revision: Description: By: Date:

Client:

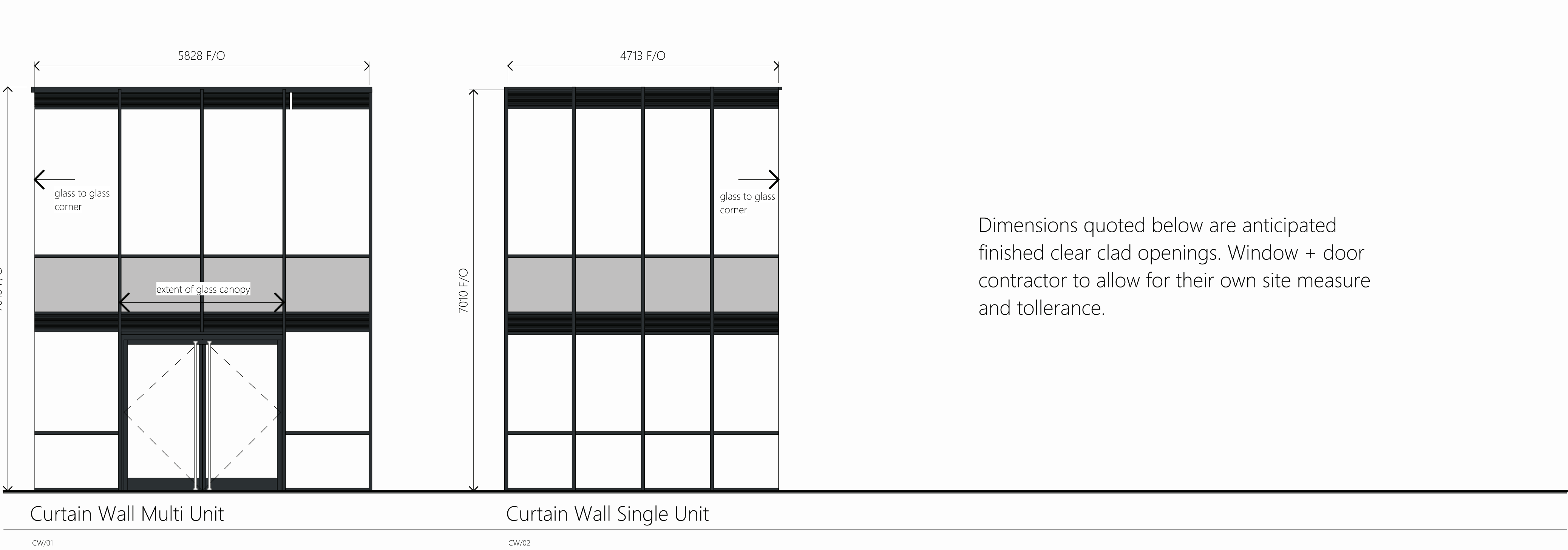
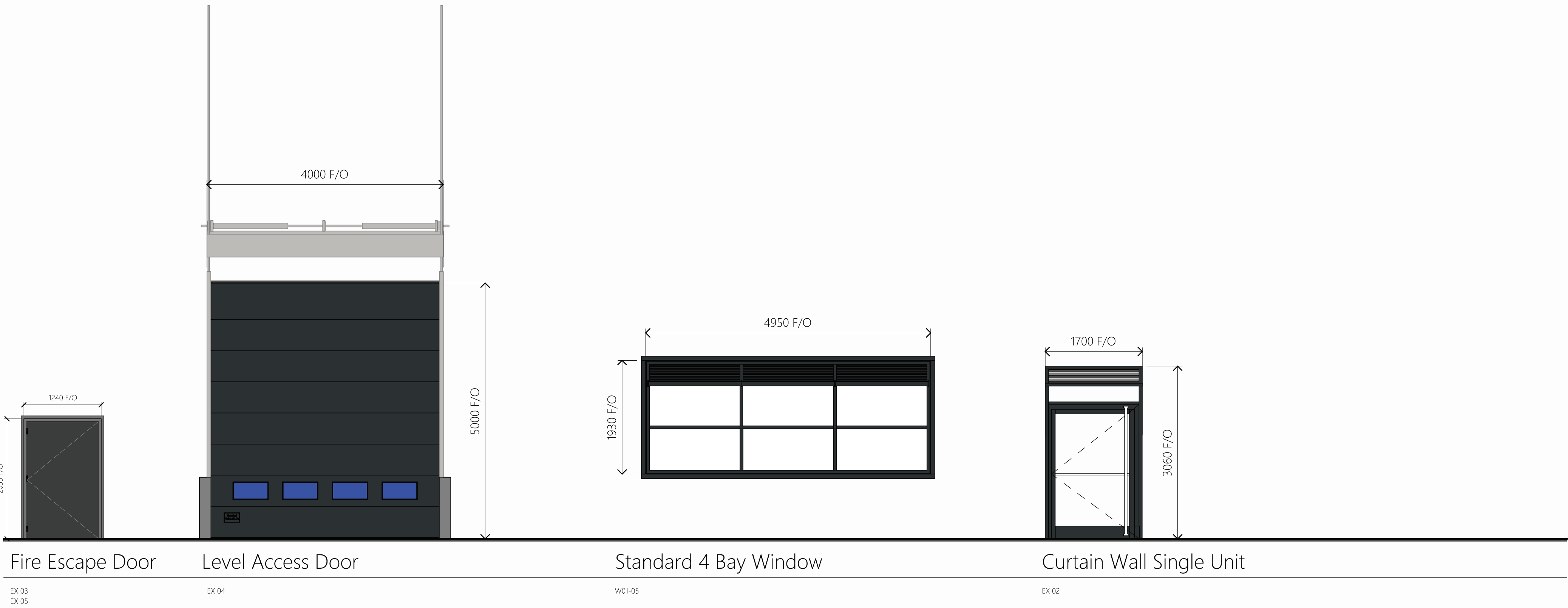


Project:
UNIT E Westfield Road

Drawing Title:
Unit E Suspended ceiling plans

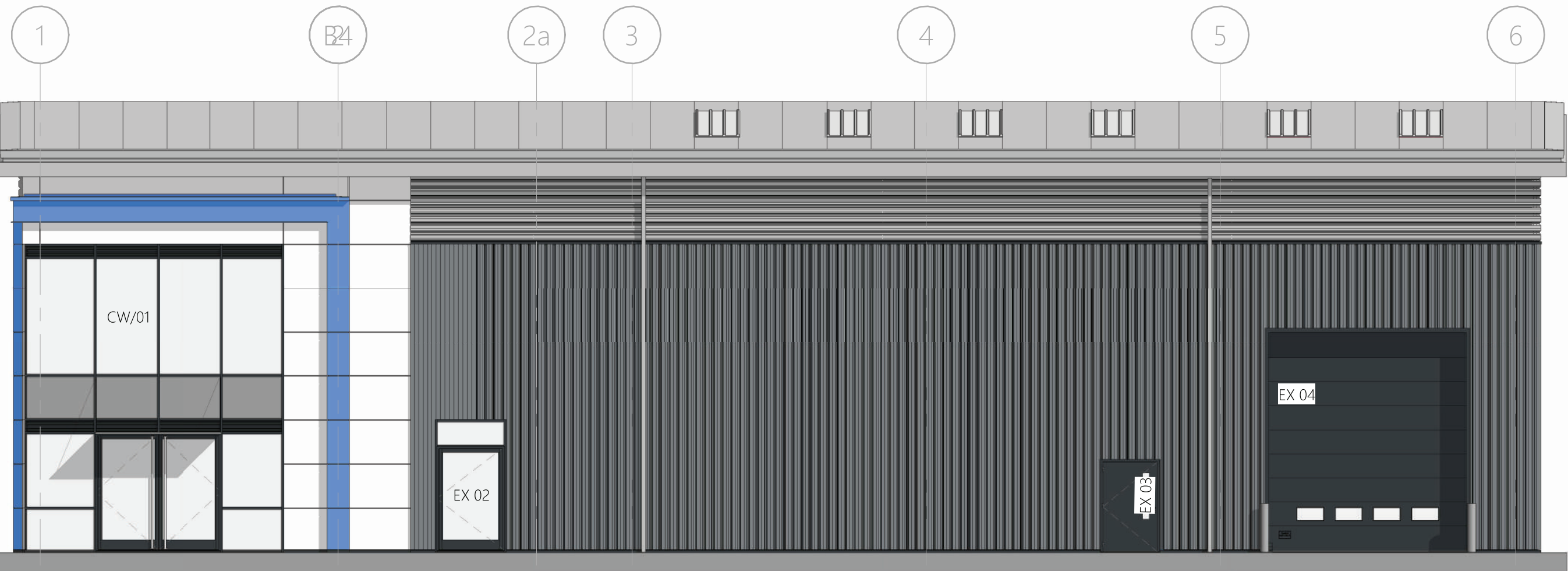
CONSTRUCTION

webbgray		Webb Gray Ltd Chartered Architects 75-77 Colmore Row Birmingham B3 2AP t: 0121 616 6030 e: architecture@webbgray.co.uk w: www.webbgray.co.uk	
Scale @ A1:	Date:	Drafted:	Checked:
As indicated	02/10/25	DLD	DLD
Job No:	Origin:	Vol:	Level:
13251	WGA	UE	ZZ
Type:	Role:	No:	Status:
DR	A	24-01	C
Revision:			
03			

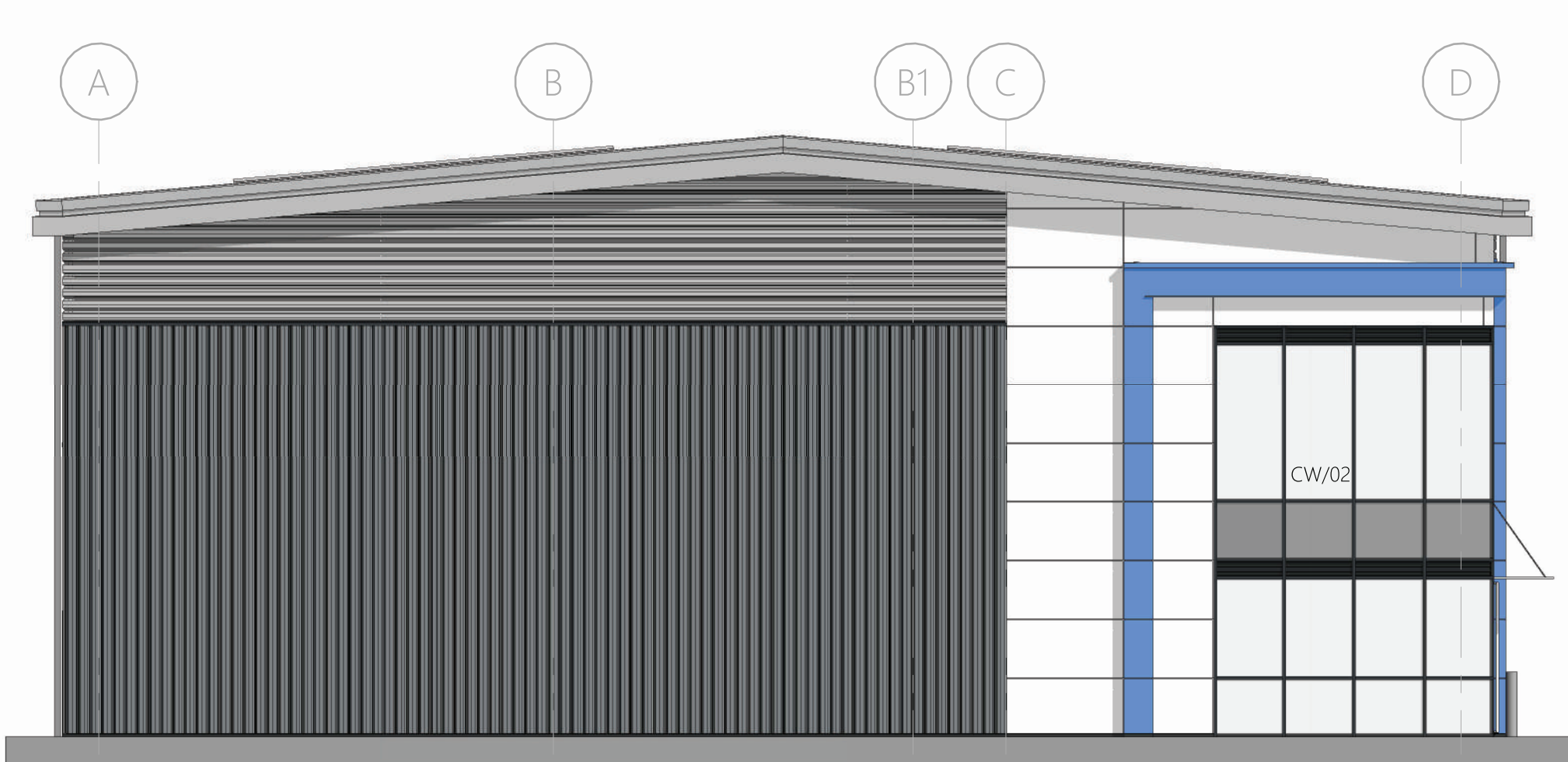


External Door & Window Types
1 : 50

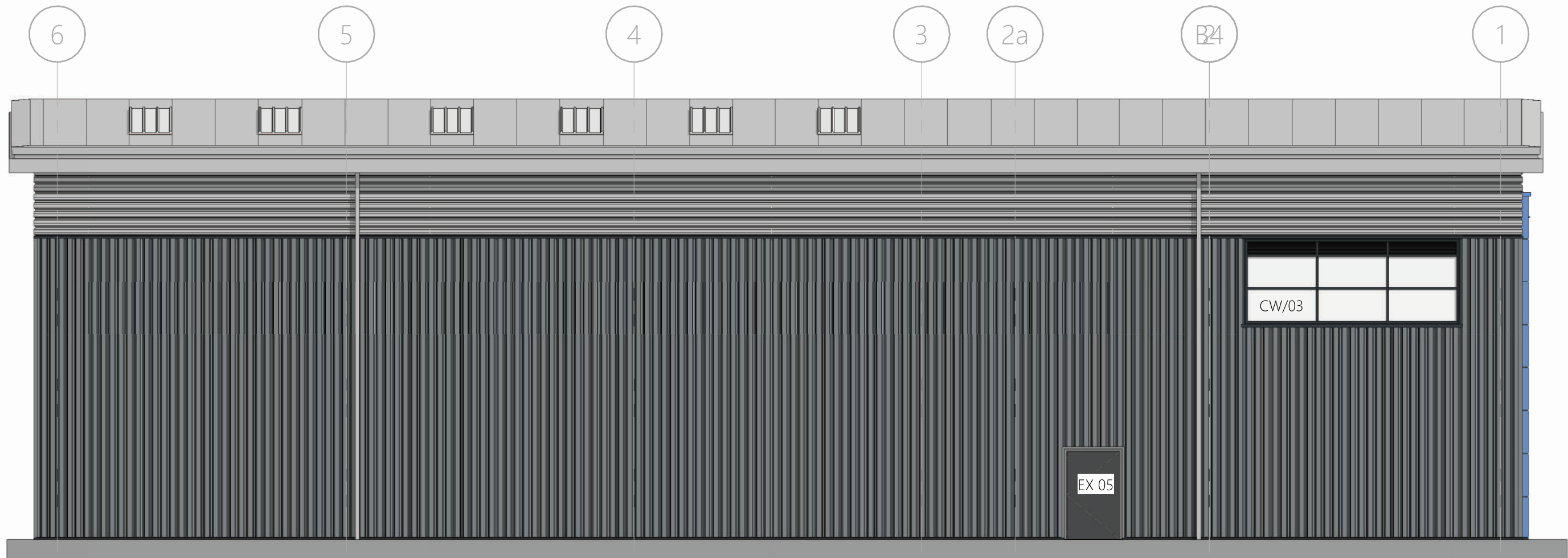
External Door Schedule														
Door Number	Door Leaves	Door Type	Door Size	Door S/O Size	Ironmongery Pull Handle	Ironmongery Butts	Ironmongery Deadlock Case	Ironmongery Emergency Release & Indicator	Ironmongery Escutcheon	Ironmongery Lever Handles	Ironmongery Overhead Closer	Ironmongery Signage	Ironmongery Door Stay	Comments
EX01	2	Aluminium Glazed Double Door		To Suit N/A	4 No Guardsman Full Geight brushed stainless steel 38mm	by specialist	2	eurocylinder lock with thumb turn inside	4		2 Concealed O/H with hold open		Heavy Duty Stay	Glazed aluminium main entrance doors to contain a leaf that gives min 1000mm clear when open
EX02	1	Aluminium Glazed Door		To Suit N/A	1 No Guardsman Full Geight brushed stainless steel 38mm	by specialist		Emergency Exit Push bar with 3 point locking			1 Concealed O/H with hold open	Fire Exit Keep Clear	Heavy Duty Stay	panic bar with personal door override
EX 03	Single	Steel Door Set	1350x2100mm	1360X2100mm	2 Pair Stainless steel hinges with hinge bolts	specialist		Emergency Exit Push Bar with 3 point locking				Fire Exit Keep Clear	Heavy Duty Stay	
EX 04	1	Sectional Overhead Door	4500x5000	4620x5060	Insert Lifting Handles	specialist	locks to be confirmed by specialist					To Be Confirmed	Balancing Springs	
EX 05	Single	Steel Door Set	1350x2100mm	1360X2100mm	2 Pair Stainless steel hinges with hinge bolts			Emergency Exit Push bar with 3 point locking				Fire Exit Keep Clear	Heavy Duty Stay	



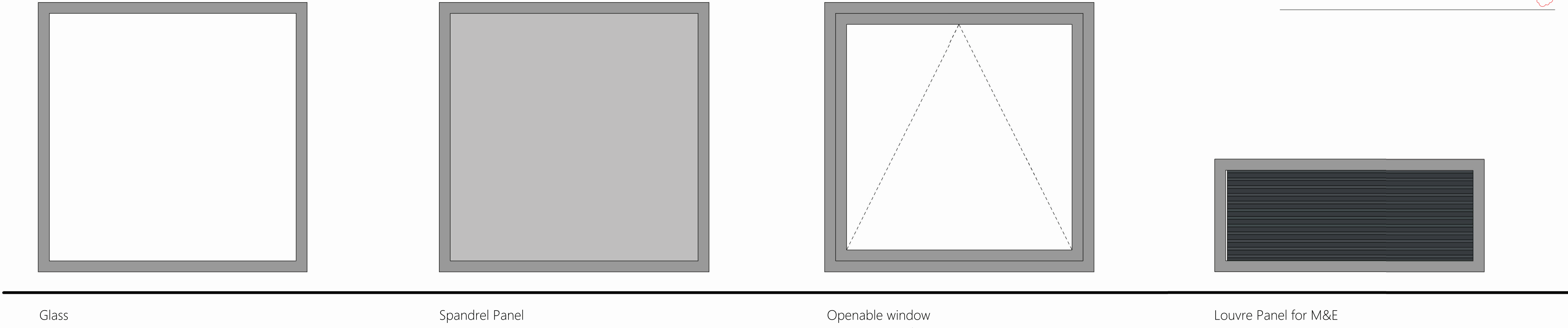
East Elevation
1 : 100



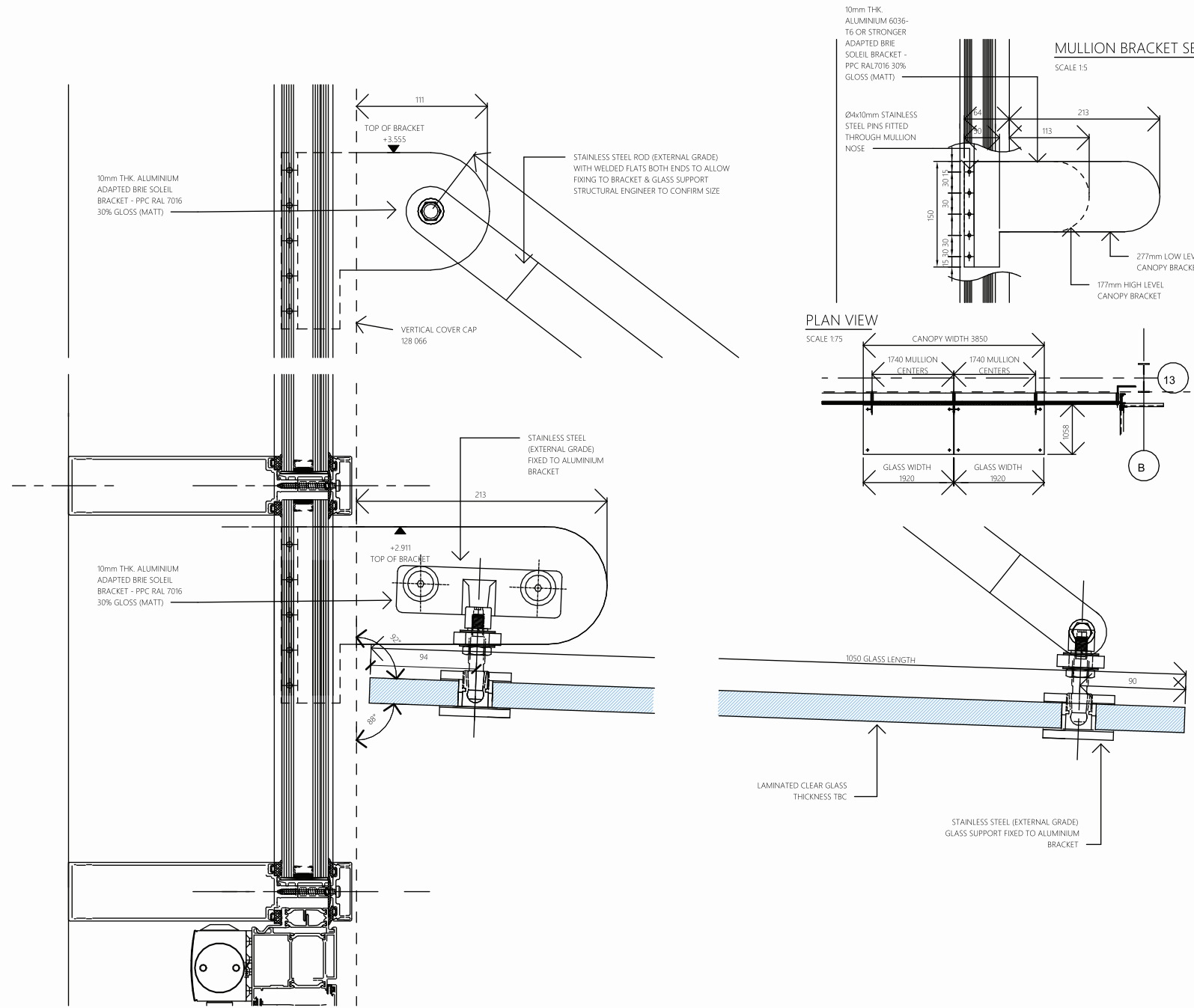
South Elevation
1 : 100



West Elevation
1 : 100



Glazing Types
1 : 10

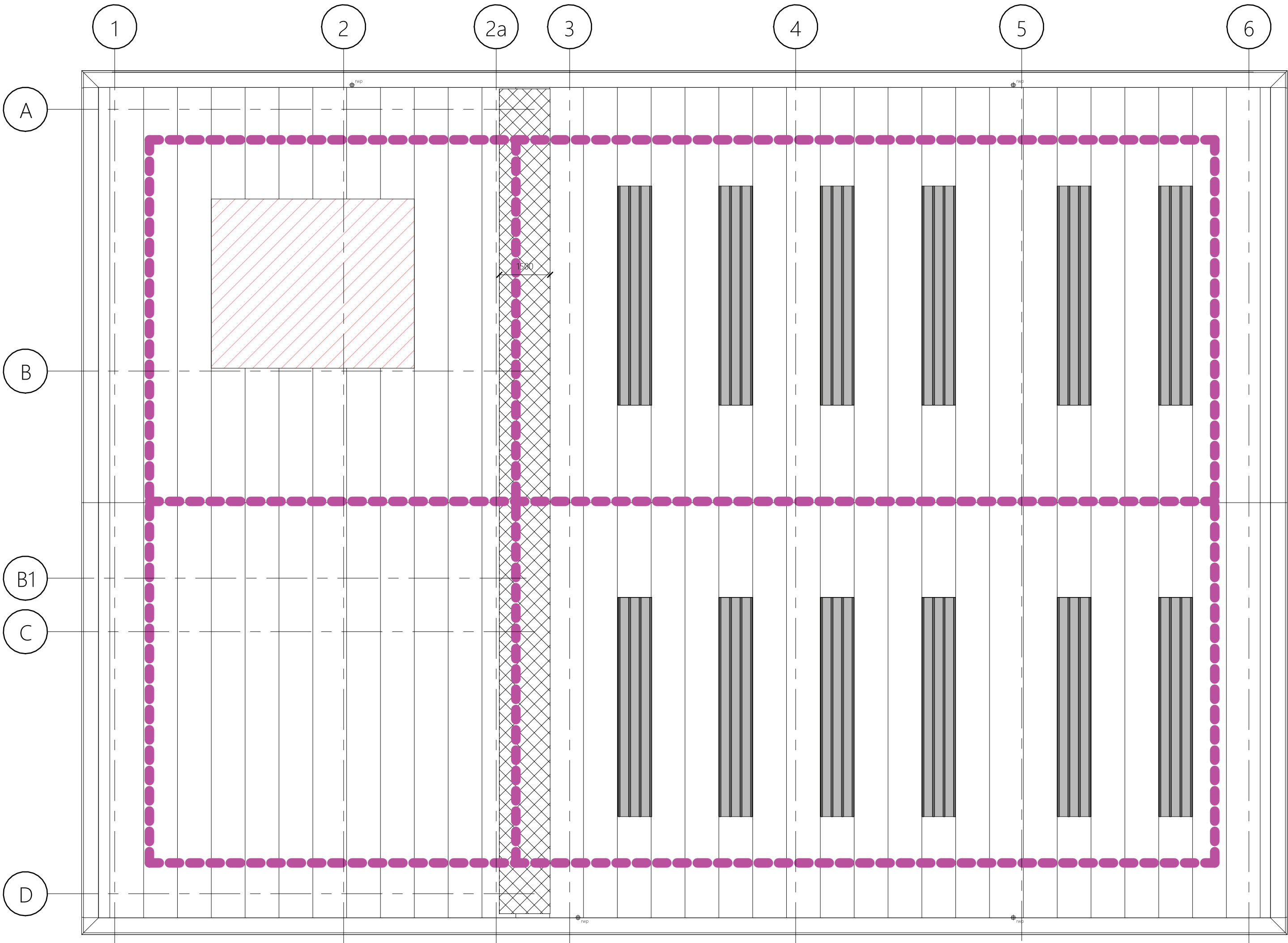


Canopy Detail
1 : 5

© 2024 webbgray
NOTE:
THIS DRAWING IS A COPYRIGHT OF WEBB GRAY LTD AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION.
ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING DETAILED TOPOGRAPHICAL SURVEY AND GROUND INVESTIGATION WORK.
IT HAS BEEN ASSUMED THAT OTHER THAN WHERE SHOWN THE SITE IS ESSENTIALLY FLAT WITH NO EXISTENTS TO ABOVE OR BELOW GROUND SERVICES.
ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING LAISONS WITH RELEVANT LOCAL AUTHORITIES.
PRELIMINARY INDICATIVE DRAWINGS MAY BE BASED UPON INFORMATION FROM VARIOUS SOURCES. THE ACCURACY OF WHICH CANNOT BE GUARANTEED.
WHERE BOUNDARIES ARE SHOWN THESE ARE AS ADVISED BY THE CLIENT AND ARE FOR GENERAL GUIDANCE ONLY. WHILEST PLOTTED WITH REFERENCE TO LAND REGISTRY DATA WHERE AVAILABLE AND INTERPOLATED AS PHYSICAL FEATURES ON SITE WHERE POSSIBLE. THEY ARE NOT INTENDED TO REPRESENT DEFINITIVE SITE EXTENTS OR LEGAL OWNERSHIP.
ALL DIMENSIONS AND SETTING OUT COORDINATES TO BE CHECKED ON THE PROJECT SITE BEFORE WORK IS COMMENCED OR MAKING ANY SHOP DRAWINGS.
IF THIS DRAWING HAS BEEN RECEIVED ELECTRONICALLY IT IS THE RECIPIENTS RESPONSIBILITY TO PRINT THE DOCUMENT TO THE CORRECT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. IT IS RECOMMENDED THAT INFORMATION IS NOT SCALED OFF THIS DRAWING. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

02 Construction Issue
01 Initial Issue
Revision: Description: By: Date:
Client:
Project:
UNIT E Westfield Road

Drawing Title:
External Window, Door Schedule & Canopy Detail
webbgray
Webb Gray Ltd
Chartered Architects
12-15 Colmore Row
Birmingham B3 2AP
t: 0121 616 6000
e: architecture@webbgray.co.uk
w: www.webbgray.co.uk
Scale: 1:100
Date: APR 25
As indicated
13251 WGA UE ZZ SH A 40-01 C 02



Roof Plan
1 : 100

NOTE:
GRP, Double or triple-skinned, sealed roof-lights will be provided to an area equivalent to 10% of the warehouse/production floor area. Roof lights will be site assembled and non-fragile.

© 2024 webbgray

NOTE:
THIS DRAWING IS © COPYRIGHT OF WEBB GRAY LTD AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING DETAILED TOPOGRAPHICAL SURVEY AND GROUND INVESTIGATION WORK.

IT HAS BEEN ASSUMED THAT OTHER THAN WHERE SHOWN THE SITE IS ESSENTIALLY FLAT WITH NO EASEMENTS TO ABOVE OR BELOW GROUND SERVICES.

ALL PROPOSALS ARE SUBJECT TO CONFIRMATION FOLLOWING LIAISONS WITH RELEVANT LOCAL AUTHORITIES.

PRELIMINARY INDICATIVE DRAWINGS MAY BE BASED UPON INFORMATION FROM VARIOUS SOURCES, THE ACCURACY OF WHICH CANNOT BE GUARANTEED.

WHERE BOUNDARIES ARE SHOWN THESE ARE AS ADVISED BY THE CLIENT AND ARE FOR GENERAL GUIDANCE ONLY. WHILST PLOTTED WITH REFERENCE TO LAND REGISTRY DATA WHERE AVAILABLE AND INTERPOLATED AS PHYSICAL FEATURES ON SITE WHERE POSSIBLE, THEY ARE NOT INTENDED TO REPRESENT DEFINITIVE SITE EXTENTS OR LEGAL OWNERSHIP.

ALL DIMENSIONS AND SETTING OUT COORDINATES TO BE CHECKED ON THE PROJECT SITE BEFORE WORK IS COMMENCED OR MAKING ANY SHOP DRAWINGS.

IF THIS DRAWING HAS BEEN RECEIVED ELECTRONICALLY IT IS THE RECIPIENTS RESPONSIBILITY TO PRINT THE DOCUMENT TO THE CORRECT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE IT IS RECOMMENDED THAT INFORMATION IS NOT SCALED OFF THIS DRAWING. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS.

NOTE:
The maintenance and cleaning strategy for the building generally and the roof system is to be fully developed with the Main Contractor, Roofing specialist and maintenance cotractor/operatives.

Note:
The maintenance and cleaning strategy for the building generally and the roof system is to be fully developed with the Main Contractor, Roofing specialist and maintenance cotractor/operatives.

Key
— — —
Latchway or equal approved ManSafe horizontal and inclined fall restraint system installed in accordance with the manufacturers recommendations. The latchway system is to be accessed via a suitable access platform at the gutter locations. The system, layout, installation, design and maintenance shall be in full accordance with the manufacturers recommendations.

System to be a fall restraint system
— — —
Hatched Area allocated to accommodate PV panels as per M+E consultants details (Indicative area: 30sqm). Mansafe system to allow access to these panels for inspection / maintenance. Layout of PV panels to be in such a manner to facilitate the installation of a fall restraint system and not a fall arrest system.

04	Construction Issue	DLD	20-03-25
03	PV layout added & Roof lights ammended	DLD	18-03-25
02	Roof lights size ammended	DLD	26-02-25
01	Initial issue	DLD	25-02-25

Revision:	Description:	By:	Date:
Client:			

Project:
UNIT E Westfield Road

Drawing Title:
Unit E Roof Plan

CONSTRUCTION

Webb Gray Ltd
Chartered Architects
75-77 Colmore Row
Birmingham B3 2AP

t: 0121 616 6030
e: architecture@webbgray.co.uk
w: www.webbgray.co.uk

Scale @ A2:			Date:		Drafted:		Checked:	
As indicated			02/10/25		DLD		DLD	
Job No:	Origin:	Vol:	Level:	Type:	Role:	No:	Status:	Revision:
13251	WGA	UE	RF	DR	A	33-01	C	04



B

BRAND Designs
The Design Studio
Unit 34
Chess Business Park
Moor Road
Chesham
Bucks
HP5 1SD
Tel:
0345 340 4435
enquiries@brand-designs.com
www.brand-designs.com

Unit E Front Facade

CLIENT
Ashford Developments

ISSUE
DRAFT

PROJECT NO.
R***

PROJECT
A41Connect

DRAWN BY
AP
DESCRIPTION
Lighting and
Control Design

A

1.

